

PROJECT ADDRESS

205 W. KINCAID ST
MOUNT VERNON, WA 98273

PARCEL NUMBER: P26637

BUILDING INFORMATION

DATE OF ORIGINAL CONSTRUCTION: 1923

ZONING DESIGNATION: PUBLIC (P)

BUILDING CODE ASSUMPTIONS:

BUILDING CODES USED: 2021 EXISTING BUILDING CODE
2021 INTERNATIONAL BUILDING CODE

OCCUPANCIES ASSUMED: A-3 (303.4-COURTROOMS) AND B (304.1 -CIVIC ADMINISTRATION) @ FLOORS 1-3
S-2 (ASSUMED FOR THE ROOF TOP MECHANICAL ROOM) @ FLOORS 4 ROOFTOP

CONSTRUCTION TYPE ASSUMED: IIB (NON-COMBUSTIBLE)

603.1 IBC: COMBUSTIBLE MATERIALS PERMITTED IN TYPE I AN II CONSTRUCTION AS FOLLOWS:
1.3 FIRE-RETARDENT-TREATED WOOD PERMITTED IN ROOF CONSTRUCTION FOR THIS TYPE IIB
27. "COMBUSTIBLE" WOOD NAILERS FOR PARAPET FLASHING AND ROOF CANTS
CONSTRUCTION TYPE IS ASSUMED BASED ON 2021 IBC TABLE 504.3 BASED ON HEIGHT OF EXISTING
SPRINKLERED FLOORS 1-3 (75' MAXIMUM) AND EXISTING NON-SPRINKLERED ROOF TOP FLOOR 4 (55'
MAXIMUM)

FIRE PROTECTION SYSTEMS: 4TH FLOOR: CLASS 2 STANDPIPES (TO BE RELOCATED PER PLAN)
3RD FLOOR AND BELOW: EXISTING SPRINKLER SYSTEM (NO CHANGES)

LEGAL DESCRIPTION

(1.5800 ac) TAX 132: DK 3: BEG ON N LI KINCAID ST AT ITS INT WI W LI 3RD ST TH N ALG W LI 3RD ST TAP 224.5FT
W & 224.5FT N OF SE C GOVERNMENT LOT 7, SECTION 19, TOWNSHIP 34 NORTH, RANGE 4 EAST, W.M., TH N
81-54 W 78.24FT TH W 107.25FT TH S 100FT TH W 93FT TO E LI 2ND ST TH S ALG E LI 2ND ST TO INT WI N LI
KINCAID TH E ALG N LI KINCAID TPB BEING TAX 31 32 33 36 38 31 1/2

PROJECT DESCRIPTION

THE PROJECT CONSIST OF FURNISHING ALL LABOR, MATERIALS, AND OTHER INCIDENTALS TO REMOVE
MAJOR PORTIONS OF THIS ROOFTOP JAIL STRUCTURE. ELIMINATION OF THE UNUSED CONCRETE JAIL
STRUCTURE IS BEING PERFORMED TO REDUCE THE SEISMIC DEMANDS ON THE THREE FLOORS OF THE
WORKING SUPERIOR COURTHOUSE BUILDING BELOW. THE PROJECT INCLUDES RETENTION OF THE EXISTING
STAIR, ELEVATOR, AND MECHANICAL ROOM EQUIPMENT SPACES SERVICING THE FLOORS BELOW. ALL
EXISTING ROOF ASSEMBLIES AND A COOLING TOWER WILL BE REMOVED AND REPLACED AS PART OF THE
WORK. AS THE COURTHOUSE WILL BE IN USE DURING THE CONSTRUCTION PERIOD, THE EXISTING COOLING
TOWER AND SELECT PLUMBING EQUIPMENT IN MECHANICAL ROOM SHALL REMAIN OPERABLE DURING
WORKING HOURS OF THE COURTHOUSE. ADDITIONALLY, ALL WORK ON PROJECT CAUSING NOISE, ODORS
OR AIR-BORNE DEBRIS SHALL BE PERFORMED ONLY WHEN THE COURTHOUSE IS NOT IN USE.

ABBREVIATIONS & ACRONYMS:

ABB OR ABBAE: ALLANA BUICK
& BERS, INC.
A/B: AIR BARRIER
A/E: ARCHITECT/ENGINEER
AOR: ARCHITECT OF RECORD
AHJ: AUTHORITY HAVING
JURISDICTION
AL: ALUMINIUM
ALT: ALTERNATE
ARCHT: ARCHITECT
BEC: BUILDING ENCLOSURE
CONSULTANT
BSAM: BUTYL SAM
C.I.: CONTINUOUS INSULATION
CFS: COLD FORMED STEEL
CL: CENTER LINE
CLNG: CEILING
CMU: CONCRETE MASONRY
UNIT
CONT: CONTINUOUS
DEIFS: DRAINABLE EXTERIOR
INSULATED FINISH SYSTEM
DS: DOWN SPOUT
(E) OR EXIST: EXISTING
ELEC: ELECTRICAL
ENG: ENGINEER
EXIST: EXISTING
EQ: EQUAL
EXT GWB: 5/8" TYPE "X"
EXTERIOR RATED GWB
FAF: FLUID APPLIED FLASHING
FAWB: FLUID APPLIED
WEATHER RESISTIVE BARRIER
FC: FIBER CEMENT SIDING
FEC: FIRE EXTINGUISHER
CABINET

FF: FINISH FLOOR
FIN: FINISH
FOIC: FURNISH BY OWNER
INSTALL BY CONTRACTOR
FOIO: FURNISH BY OWNER
INSTALL BY OWNER
GA: GAUGE
GALV: GALVANIZED
GC: GENERAL CONTRACTOR
GFRGWB: GLASS FIBER
REINFORCED GWB
(5/8" TYPE "X" DENSGLASS OR
EQUAL)
GLS: GLASS
GWB: GYPSUM WALL BOARD
HR: HAND RAIL (AT STAIRS,
PER CURRENT CODE)
MANUF: MANUFACTURER
MEP:
MECHANICAL/ELECTRICAL/PLUMBING
MECH: MECHANICAL
MTL: METAL
(N): NEW
O.D.: OUTSIDE DIAMETER
I.D.: INSIDE DIAMETER
NTS: NOT TO SCALE
NIC: NOT IN CONTRACT
PL: PROPERTY LINE
PLMBG: PLUMBING
POLYISO: POLYISOCYANURATE
(INSUL)
PSF:POUNDS PER SQUARE
FOOT
PSI: POUNDS PER SQUARE
INCH
REQD: REQUIRED

RD: ROOF DRAIN (WITH
OVERFLOW WHERE REQD)
R.O.: ROUGH OPENING (IN
FRAMING)
REF: REFERENCE
SAM: SELF ADHERED
MEMBRANE
(BUTYL BACKED ADHESIVE IS
REQUIRED)
SF: SQUARE FEET (OR FOOT)
SFTY: SAFETY
SGD: SLIDING GLASS DOORS
SIM: SIMILAR
SPEC: SPECIFICATIONS
SUSP: SUSPENDED
STD: STANDARD
STL: STEEL
SS: STAINLESS STEEL
SUSP: SUSPENDED
STRUCT: STRUCTURAL
SUB: SUB-CONTRACTOR
TBD: TO BE DETERMINED
T&G: TONGUE AND GROOVE
TS: TEMPERED SAFETY
(GLASS)
TYP: TYPICAL
WD: WOOD
WOCOD: WINDOW OPERATION
CONTROL DEVICE
(LIMITS WINDOW OPENING TO
4" MAXIMUM)
VCT: VINYL COMPOSITION TILE
VIF: VERIFY IN FIELD
WRB: WEATHER RESISTIVE
BARRIER

GENERAL NOTES

1. THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO PROVIDE FOR A WATERTIGHT AND WEATHER
TIGHT BUILDING. THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DETAILS RELATING TO THIS INTENT
AND BY BIDDING OR ENTERING INTO THIS CONSTRUCTION CONTRACT, WARRANTS FOR ONE FULL YEAR
THE ADEQUACY OF THESE DETAILS. SHOULD THE GC TAKE EXCEPTION TO THESE DETAILS, THEY SHALL
NOTIFY ABB (ALLANA BUICK AND BERS) PRIOR TO BIDDING. ANY DEVIATION FROM THIS GENERAL INTENT
SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION.
2. THE BUILDING SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE CODES, ORDINANCES
AND REGULATIONS AS WELL AS THE DRAWINGS AND SPECIFICATIONS. ANY CODE DEFICIENCIES IN THE
DRAWINGS RECOGNIZED BY THE GC SHALL BE BROUGHT TO THE ATTENTION OF ABB FOR CLARIFICATION.
3. THE GC SHALL BE RESPONSIBLE FOR THE ACCURATE CONSTRUCTION AND VERIFY ALL DIMENSIONS AND
EXISTING CONDITIONS. QUANTITY TAKE OFFS AND DIMENSIONS FOR WINDOWS, DOORS AND ALL
MATERIALS INSTALLED ON SITE ARE RESPONSIBILITY OF THE GC. DISCREPANCIES BETWEEN DRAWINGS
AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF ABB BEFORE BIDDING THE
PROJECT OR THE COMMENCEMENT OF THE WORK. THE OWNER SHALL NOT BE RESPONSIBLE FOR
CHANGES TO THE WORK DUE TO THE FAILURE OF THE GENERAL CONTRACTOR TO FAMILIARIZE
THEMSELVES WITH THE EXISTING CONDITIONS.
4. DO NOT SCALE DRAWINGS; ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE AND SHALL BE FIELD
VERIFIED AND COORDINATED WITH WORK OF ALL TRADES. IF NO DIMENSIONS ARE GIVEN OR
DISCREPANCIES FOUND, THE CONTRACTOR SHALL NOTIFY ABB FOR CLARIFICATION BEFORE BIDDING OR
COMMENCING WITH THE WORK.
5. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR
MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, ALL INCLUDED AS PART OF
WORK.
6. ABB SHALL SUBMIT AND PICK UP PERMIT DOCUMENTS AT OWNERS EXPENSE. CONTRACTOR SHALL CALL
FOR REQUIRED INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK IN ACCORDANCE
WITH APPLICABLE CODES AND GOVERNING AUTHORITY.
7. GC SHALL PROTECT ALL EXISTING BUILDINGS AND TREES TO REMAIN THROUGHOUT CONSTRUCTION OF
THIS PROJECT. GC SHALL PROMPTLY REPAIR ANY DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
8. GC SHALL REMOVE DEBRIS FROM PROJECT SITE ON A DAILY BASIS. DISPOSE OF ALL ITEMS IN
ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS OR REQUIREMENTS.
9. GC SHALL SCHEDULE AND COMPLETE THEIR WORK SO AS TO KEEP MECHANICAL, ELECTRICAL,
TELEPHONE, DATA, HVAC CONTROLS, INTERCOM, FIRE PROTECTION AND OTHER EXISTING SYSTEMS
OPERATIONAL. ANY DISRUPTION TO SYSTEMS REQUIRES A MINIMUM OF SEVENTY TWO (72) HOUR
NOTIFICATION TO THE OWNER AND TENANTS. WORK REQUIRING LOUD NOISE OR VIBRATION SHALL ALSO
BE COORDINATED IN A SIMILAR MANNER.
10. THESE DRAWINGS DESCRIBE GENERAL REQUIREMENTS FOR WEATHERIZATION DETAILS. REFER TO ABB
DRAWINGS FOR CLADDING TYPES, COLORS, WALL ASSEMBLIES, AND THERMAL RESISTANCE VALUES
REQUIRED.
11. GENERAL NOTES LISTED ON THIS PAGE ARE NOT INTENDED TO BE AT THE EXCLUSION OF NOTES LISTED
ELSEWHERE; THIS DOCUMENT SET IS MEANT TO BE COMPLEMENTARY, AND NOTES LISTED ON OTHER
SHEETS, ON SPECIFICATIONS AND MANUFACTURERS RECOMMENDATION SHALL HAVE
BEARING/APPLICATION TO WORK SHOWN ON THIS SHEET. SHOULD A DISCREPANCY OCCUR BIDDER /
CONTRACTOR SHALL UTILIZE THE MORE STRINGENT CONDITION.
12. THERE ARE SPECIFICATIONS BOUND SEPARATELY FROM THE CONSTRUCTION DRAWINGS THAT ARE A PART
OF THE CONTRACT. THE SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY TO ONE ANOTHER AND
ARE BOTH REQUIRED TO FULLY DESCRIBE THE GC'S RESPONSIBILITIES UNDER THE CONTRACT. THE
DRAWINGS TYPICALLY INDICATE SIZE, FORM, RELATIONSHIP AND GENERIC TYPE; THE SPECIFICATIONS
TYPICALLY DEFINE THE QUALITATIVE REQUIREMENTS FOR PRODUCTS, MATERIALS, AND WORKMANSHIP.
WHAT IS CALLED FOR BY EITHER ONE SHALL BE AS BINDING AS IF CALLED FOR BY ALL.
13. ALL NOTES DESCRIBING COMPONENTS, SYSTEMS, OR CONSTRUCTION NOT NOTED AS "(E)" OR "EXISTING"
ARE NEW, AND ARE REQUIRED TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.
14. GENERAL CONTRACTOR TO PROVIDE TEMPORARY OVERHEAD PROTECTION FOR PEDESTRIAN WHERE
WORK IS OCCURRING.

WATERPROOFING NOTES

1. FLASHINGS SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE
WALL OR TO REDIRECT IT TO THE EXTERIOR. FLASHING MATERIALS SHALL BE TYPICALLY 24 GAUGE
PRE-FINISHED KYNAR COATED GALVANIZED METAL, UNLESS NOTED AS OTHERWISE ON DRAWINGS.
2. WALL PENETRATIONS SHALL BE TARGET FLASHED.
3. WEATHER RESISTIVE BARRIERS (WRB) SHALL HAVE POSITIVE LAPPING (SHINGLE STYLE) WHEN INSTALLED.
LAPPING AND SEALING OF SEAMS AND JOINTS SHALL BE BY MANUFACTURER'S REQUIREMENTS. LAP
WEATHER RESISTANT BARRIER OVER VERTICAL FLASHING A MIN OF 4". UNLESS NOTED OTHERWISE.
4. BUILDING INTERFACES SHALL BE FLASHED TO PREVENT MOISTURE FROM ENTERING THE WALL.
5. HARDSCAPE SURFACES SHALL HAVE ADEQUATE SLOPING FOR DRAINAGE.
6. REFER TO MATERIAL DATA SHEETS AND MANUFACTURER'S INSTRUCTIONS BEFORE INSTALLING MATERIALS
7. PROVIDE FOLLOWING CLEARANCES TYPICALLY:
A) 2" MIN CLEAR @ ALL CLADDING TO HORIZONTAL HARD SURFACES
B) 6" MIN CLEAR @ ALL CLADDING TO FINISH GRADE
9. EXPOSED FASTENERS SHALL BE SEALED OR HAVE INTEGRAL RUBBER GASKETS. INSTALL & LOCATE
FASTENERS PER S.M.A.C.N.A.
10. HEM METAL FLASHING DRIP EDGES, TYPICAL. PROVIDE FULLY SOLDERED JOINTS IN SECTIONS OF
FLASHING JOINED TOGETHER AS INDICATED ON DRAWINGS.
11. PROVIDE GALVANIC SEPARATION MATERIAL BETWEEN DISSIMILAR METALS.
12. NOTIFY THE DESIGN PROFESSIONAL AND/OR CONSTRUCTION MANAGER OF ANY PREVIOUSLY
UNDISCOVERED DAMAGE, DEFICIENCIES OR THREATS THAT COMPROMISE THE FIRE AND/OR LIFE SAFETY
OF THE BUILDING OCCUPANTS.
13. ALL SEALANT WORK SHALL BE IN ACCORDANCE WITH THE SWRI AND THE SEALANT MATERIAL
MANUFACTURER. REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND
THAT REQUIRED BY THE REFERENCED STANDARDS. IF CONFLICTS SHOULD OCCUR BETWEEN STANDARDS
AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR MORE STRINGENT
REQUIREMENT.
14. ROOFING WORK SHALL BE IN ACCORDANCE WITH NRCA, SMACNA, AND THE ROOFING MATERIAL
MANUFACTURER. REQUIREMENTS SHOWN IN THE CONSTRUCTION DOCUMENTS ARE ABOVE AND BEYOND
THAT REQUIRED BY THE REFERENCED STANDARDS. SHOULD CONFLICTS OCCUR BETWEEN THE
REFERENCED STANDARDS AND/OR THE CONSTRUCTION DOCUMENTS, UTILIZE THE HIGHEST QUALITY OR
MORE STRINGENT REQUIREMENT. (ONLY USE WHERE ROOFING WORK IS APPLICABLE)

MOCK UPS

1. MATERIALS TO BE USED FOR MOCK-UP MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY ABB BEFORE
USE.
2. MOCK-UP REVIEW SHALL CONSIST OF A STEP BY STEP INSTALLATION SEQUENCING DONE ON SITE IN AN
AREA SELECTED BY ABB.
3. IN-PLACE MOCK-UPS MUST BE PERFORMED BY PERSONNEL WHO WILL BE PROVIDING THE ACTUAL
INSTALLATION.
4. CONTACT ABB 48 HOURS PRIOR TO SCHEDULE MOCK UPS AND TESTING. MOCK UP AND TESTING SHALL
BE INCLUDED IN CONTRACTORS OVERALL CONSTRUCTION SCHEDULE.
5. THIS LIST MAY NOT INCLUDE ALL ITEMS REQUIRING MOCK UP REVIEW. ADDITIONAL MOCK UPS AND/OR
WATER TESTING MAY BE REQUESTED AS REQUIRED BY ABB:
 - PROPOSED NEW EXTERIOR WALL AND ROOF ASSEMBLIES AND PENETRATIONS
 - PROPOSED ROOF ASSEMBLIES AND CONNECTIONS TO WALLS
 - DRAIN CONNECTIONS
 - EXTERIOR DOORS
 - CANOPIES

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ABB ARCHITECTURE DRAWINGS

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A0.2 SITE PLAN AND CODES
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D2.2 4TH FLOOR & ROOF DEMOLITION PLAN
D2.3 UPPER ROOF DEMOLITION PLAN
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D3.1 DEMOLITION 4TH FLOOR JAIL ELEVATIONS
D4.1 DEMOLITION 4TH FLOOR JAIL SECTIONS

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W201 DEIFS WALL DETAILS
W202 DEIFS WALL DETAILS
W203 DEIFS WALL DETAILS
W204 DEIFS WALL DETAILS
W205 DEIFS WALL DETAILS
W301 WINDOW, DOOR, LOUVER DETAILS
W401 ROOF DETAILS

W402 ROOF DETAILS
W403 ROOF & CANOPY DETAILS
W404 ROOF & CANOPY DETAILS

PSE STRUCTURAL DRAWINGS:

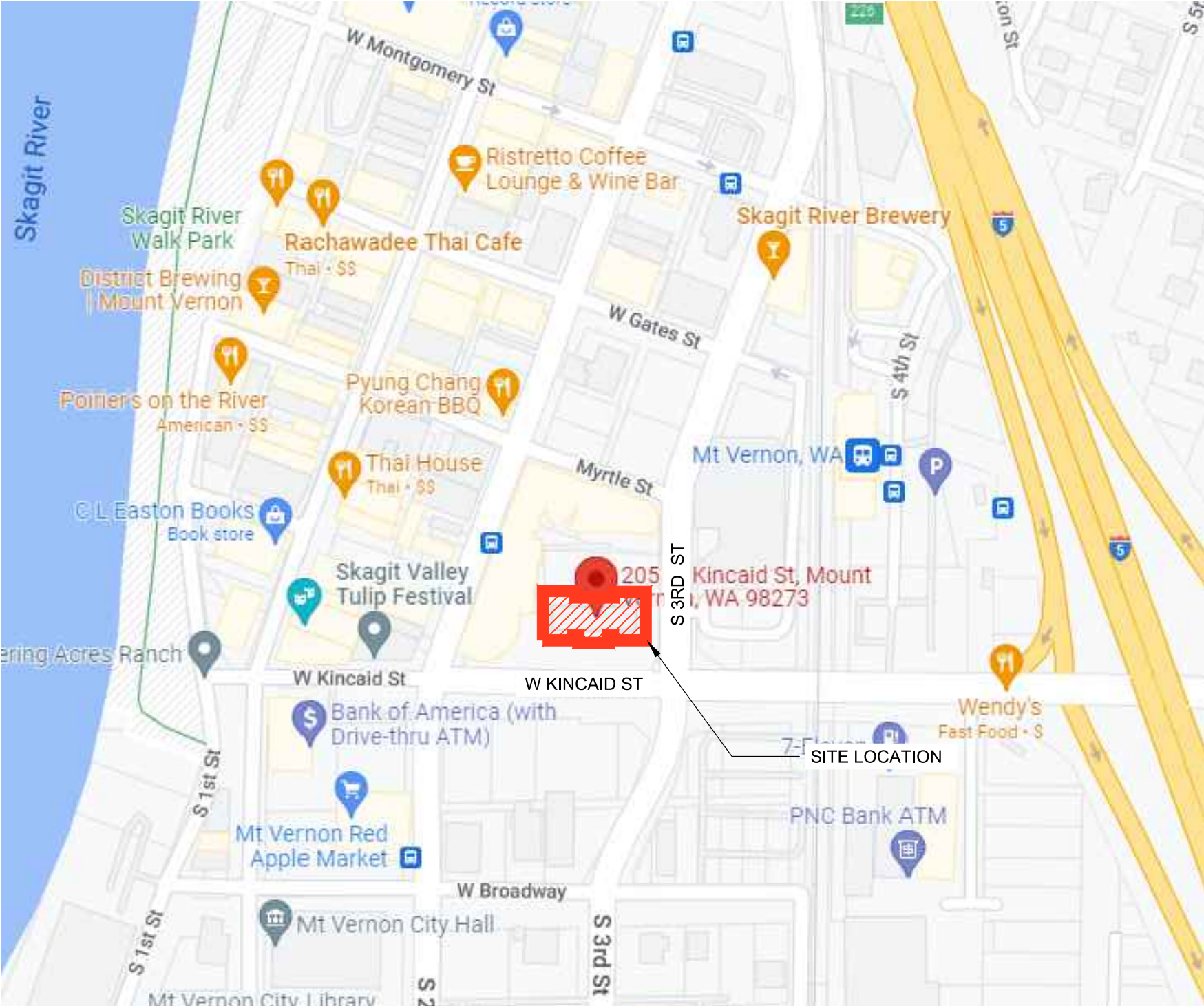
S0 GENERAL NOTES & DESIGN CRITERIA
S1 PROPOSED ROOF LAYOUT
S2 PARAPET BRACE DETAILS
S3 CFS WALL DETAILS
S4 STRUCTURAL DETAILS
S5 DEMO PLAN AND LOAD MAP

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PLUMBING
P1.1 4TH FLOOR AND ROOF DEMO PLAN -
PLUMBING
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M0.1 SYMBOL LIST AND GENERAL NOTES -
MECHANICAL
M1.1 4TH FLOOR AND ROOF DEMO PLAN -
MECHANICAL
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MECHANICAL

E0.1 SYMBOL LIST AND GENERAL NOTES -
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E1.1 4TH FLOOR AND ROOF DEMO PLAN -
ELECTRICAL
E2.1 4TH FLOOR AND ROOF PLAN - ELECTRICAL



north



Location Map

not to scale



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300 Elliot Ave. West, Suite 250
Seattle, WA 98119
206-443-6499



Peteresen
Thomas Lambert

ABB Project
22-7763.01
Skagit County Facilities
Project # 3809

PROJECT NAME:
Skagit County Superior Court
Rooftop Jailhouse Removal

OWNER NAME / ADDRESS:
Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273

PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273

PROPERTY MANAGER:
Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen

Mark	Description	Date
	CONSTRUCTION PLANS (REVISED)	03/20/23
	BID SET ISSUE	04/24/23
1	PERMIT CORRECTION BID SET	06/21/23
	BID SET ISSUE	09/25/23

CITY OF MOUNT VERNON
PERMIT NUMBER
BLD023-0137

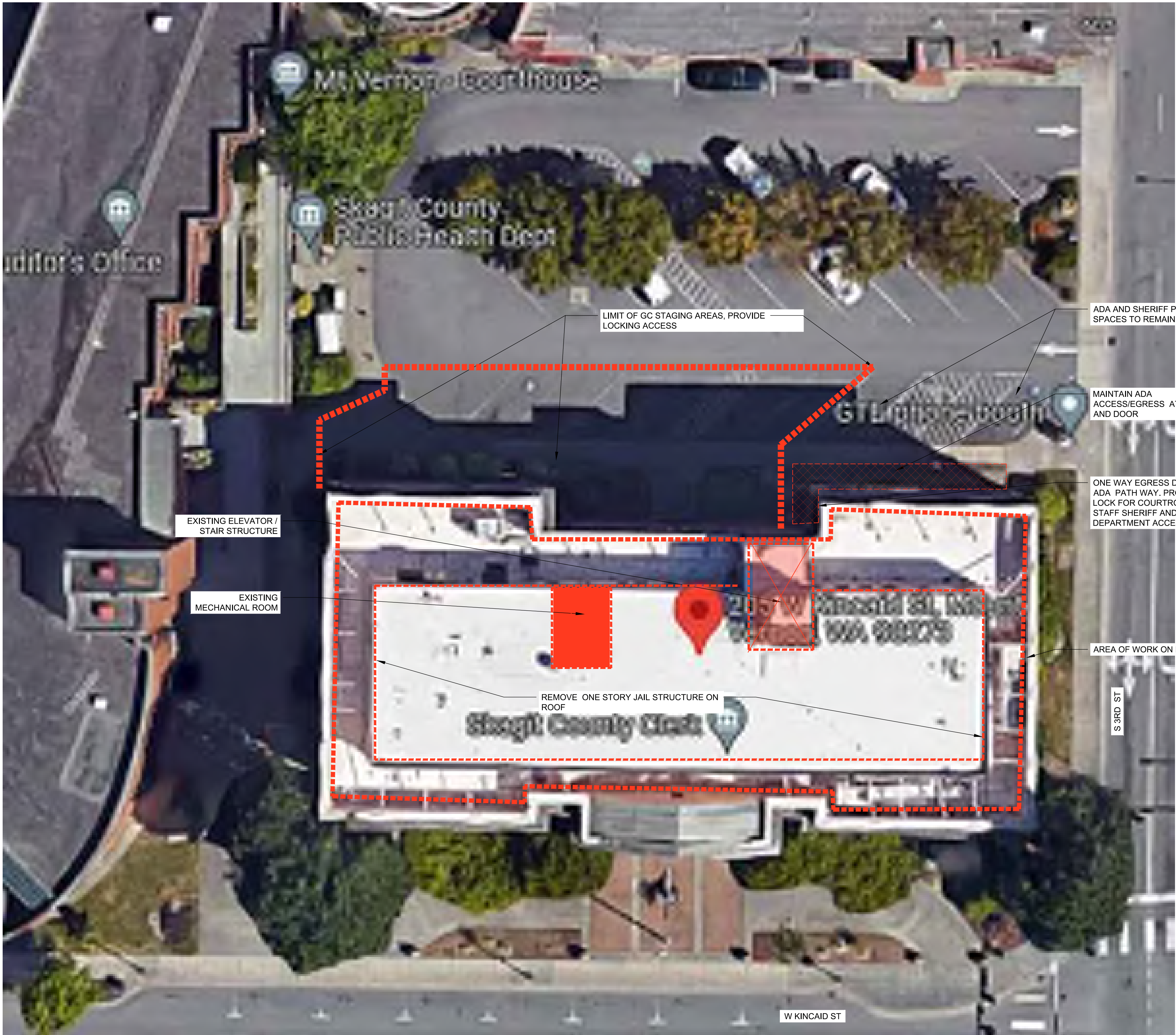
SHEET TITLE

COVER SHEET

SCALE: NOTED ON DRAWINGS

A0.1

SHEET



CODE COMPLIANCE

2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
THERE IS NO CHANGE IN OCCUPANCY NOR ANY ADDITION TO THE EXISTING FOOTPRINT FOR THIS ROOF TOP JAIL DEMOLITION, MECHANICAL ROOM REPLACEMENT, ROOFTOP ACCESS HALL REPLACEMENT, AND ROOF REPLACEMENT PROJECT.

PROJECT APPEARS TO CONFORM TO FOLLOWING SECTIONS OF THE IEBC:

CHAPTER 8 - ALTERATIONS LEVEL 2 (PRIMARY) AND CHAPTER 7 - ALTERATIONS LEVEL 1 (WHERE APPLICABLE):

- 801.2 COMPLIANCE:** IN ADDITION TO THE REQUIREMENTS OF THIS CHAPTER, ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 7.
- 701.2 CONFORMANCE:** THE EXISTING BUILDING SHALL NOT BE ALTERED SUCH THAT THE BUILDING BECOMES LESS SAFE THAN ITS EXISTING CONDITION.
- 803 FIRE PROTECTION:**
- ALTERATION SHALL BE DONE THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED.
- 804.1 MEANS OF EGRESS:** ALTERATIONS DONE TO THIS PROJECT WILL MAINTAIN THE LEVEL OF PROTECTION PROVIDED FOR THE EXISTING MEANS OF EGRESS.
- 705 REROOFING:**
- 705.1 GENERAL:** MATERIALS AND METHOD SHALL COMPLY WITH CHAPTER 15 OF THE INTERNATIONAL BUILDING CODE.
- 705.2 ROOF REPLACEMENT:**
- ROOF REPLACEMENT SHALL INCLUDE THE REMOVAL OF ALL EXISTING LAYERS OF ROOF COVERINGS TO THE ROOF DECK.
- 705.2 FLASHINGS:** FLASHINGS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH APPROVED MANUFACTURER'S INSTRUCTIONS.
- 805 STRUCTURAL:**
- 805.2 ADDITION OR REPLACEMENT OF ROOFING OR REPLACEMENT OF EQUIPMENT: ANY EXISTING GRAVITY LOAD-CARRYING STRUCTURAL ELEMENT FOR WHICH AN ALTERATION CAUSES AN INCREASE IN DESIGN DEAD, SNOW LOAD.. OF MORE THAN 5% SHALL BE REPLACED OR ALTERED AS NEEDED TO CARRY THE GRAVITY LOADS REQUIRED BY THE INTERNATIONAL BUILDING CODE FOR NEW STRUCTURES.
- COMMENT:** THIS PROJECT REDUCES DESIGN LOADS BY REMOVING 90% OF EXISTING CONCRETE JAILHOUSE STRUCTURE ON THE ROOF. ALTERATION OF ROOF STRUCTURE IS NOT REQUIRED.
- 807 MECHANICAL:** ALTERATIONS TO THIS PROJECT WILL MAINTAIN THE EXISTING LEVEL OF MECHANICAL SYSTEMS FOR THE REMAINING AND UNALTERED FLOORS 1-3.
- 809 ENERGY CONSERVATION:**
- 809.1 LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODES.
- REPLACEMENT WINDOWS WILL MEET WASHINGTON STATE ENERGY CODE REQUIREMENTS (U = .30 MAX TYPICALLY)

ENERGY CODE COMPLIANCE

W2018 WASHINGTON STATE ENERGY CODE (WSEC):

C503 ALTERATIONS:
C503.1 GENERAL: ALTERATIONS TO ...BUILDING SHALL COMPLY WITH SECTION C503 AND CODES FOR NEW CONSTRUCTION. ALTERATION TO AN EXISTING BUILDING...SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTIONS OF THE EXISTING BUILDING TO COMPLY WITH THIS CODE. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING ... IS NO LESS CONFORMING TO THE PROVISIONS OF THIS CODE THAN THE EXISTING BUILDING ... WAS PRIOR TO THE ALTERATION.
EXCEPTIONS USED: 7. REPLACEMENT OF EXISTING DOORS TO OUTSIDE.
C503.3 BUILDING ENVELOPE (AIR LEAKAGE TESTING) IS NOT REQUIRED PER EXCEPTION:
EXCEPTION: AIR LEAKAGE TESTING IS NOT REQUIRED FOR ALTERATIONS AND REPAIRS, UNLESS THE PROJECT INCLUDES A CHANGE IN SPACE CONDITIONING PER C503.2 OR A CHANGE IN OCCUPANCY.

TABLE C402.1.3: MINIMUM THERMAL REQUIREMENTS:

ROOFS:
INSULATION ENTIRELY ABOVE DECK: R-38 C.I.
WALLS:
STEEL FRAMED: R-13 + R13 C.I.

FIRE CODE NOTES:

PER REQUEST OF FIRE MARSHALL, WORK WILL INCLUDE RELOCATION OF (2) EXISTING CLASS 2 STANDPIPES. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR SUCH WORK.

BUILDING IS EQUIPPED WITH AN EXISTING FIRE PROTECTION SYSTEM. NO CHANGES TO EXISTING SYSTEM ARE ANTICIPATED.

GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING FIRE DEPARTMENT IF FIRE ALARM SYSTEM REQUIRES TEMPORARY SHUT OFF OR RELOCATION TO PERFORM REPAIR WORK.

DEFERRED SUBMITTAL:

FOR THE FOLLOWING WORK, CONTRACTOR SHALL SUBMIT TO THE BUILDING INSPECTOR DRAWINGS AND CALCULATIONS STAMPED AND SIGNED BY A WASHINGTON STATE LICENSED STRUCTURAL ENGINEER :

- BIDDER DESIGN STEEL CANOPY WITH KNIFE PLATE ATTACHMENT TO STRUCTURE.
- MODIFICATION TO FIRE SPRINKLER, STAND PIPE AND FIRE PUMPS.



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300 Elliot Ave. West, Suite 250
Seattle, WA 98119
206-443-6499



Peteresen

ABB Project

22-7763.01

Skagit County Facilities

Project # 3809

PROJECT NAME:

Skagit County Superior Court

Roof Top Jailhouse Removal

OWNER NAME / ADDRESS:

Skagit County,

a Municipal Corporation

1800 Continental Place

Mount Vernon, WA 98273

PROPERTY ADDRESS:

205 W. Kincaid Street

Mount Vernon, WA 98273

PROPERTY MANAGER:

Skagit County Facilities

Management

1800 Continental Place

Mount Vernon, WA 98273

Contact: Ken Hansen

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CITY OF MOUNT VERNON
PERMIT NUMBER
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SHEET TITLE

**SITE PLAN AND
CODES**

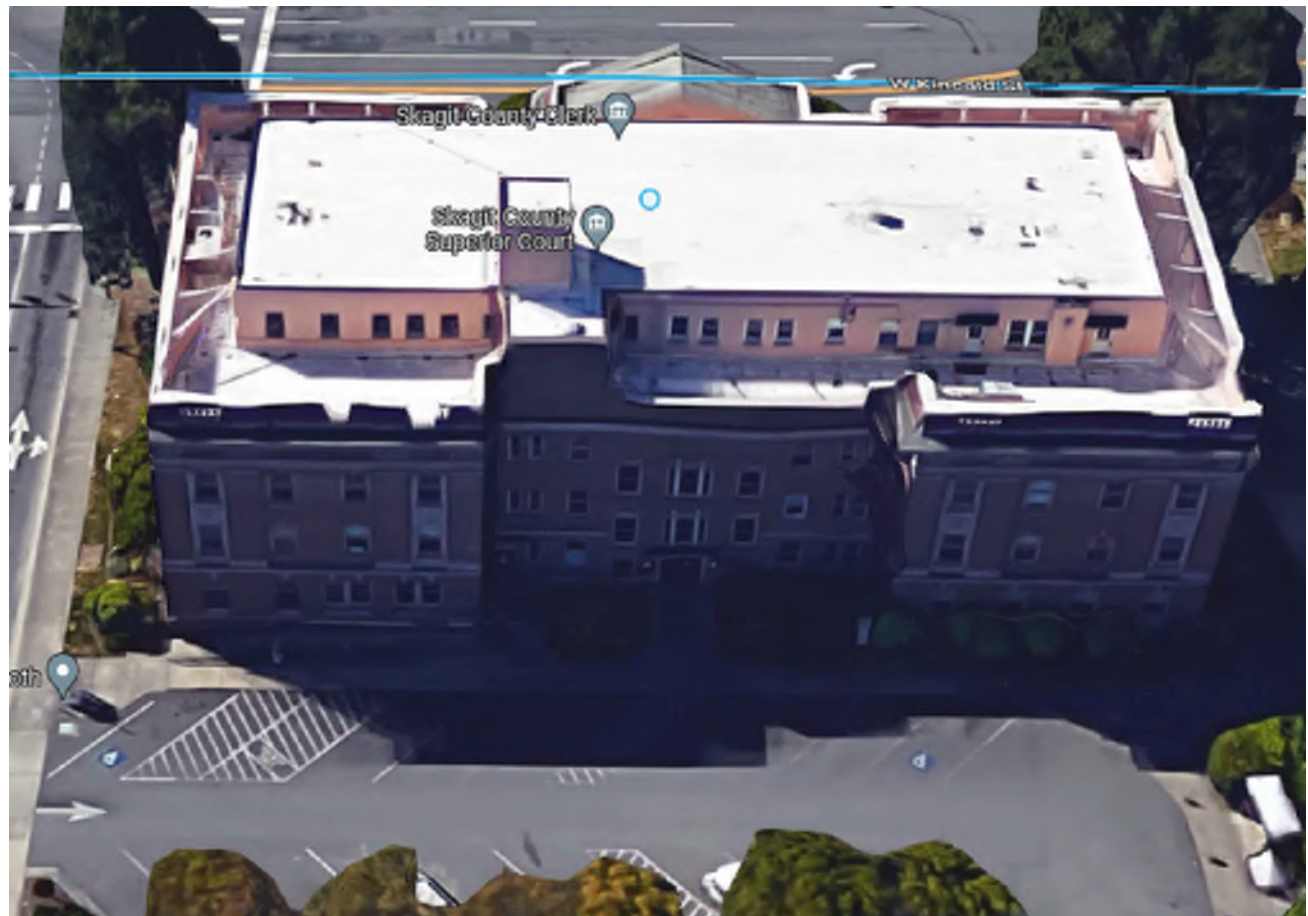
SCALE: NOTED ON DRAWINGS

A0.2

SHEET



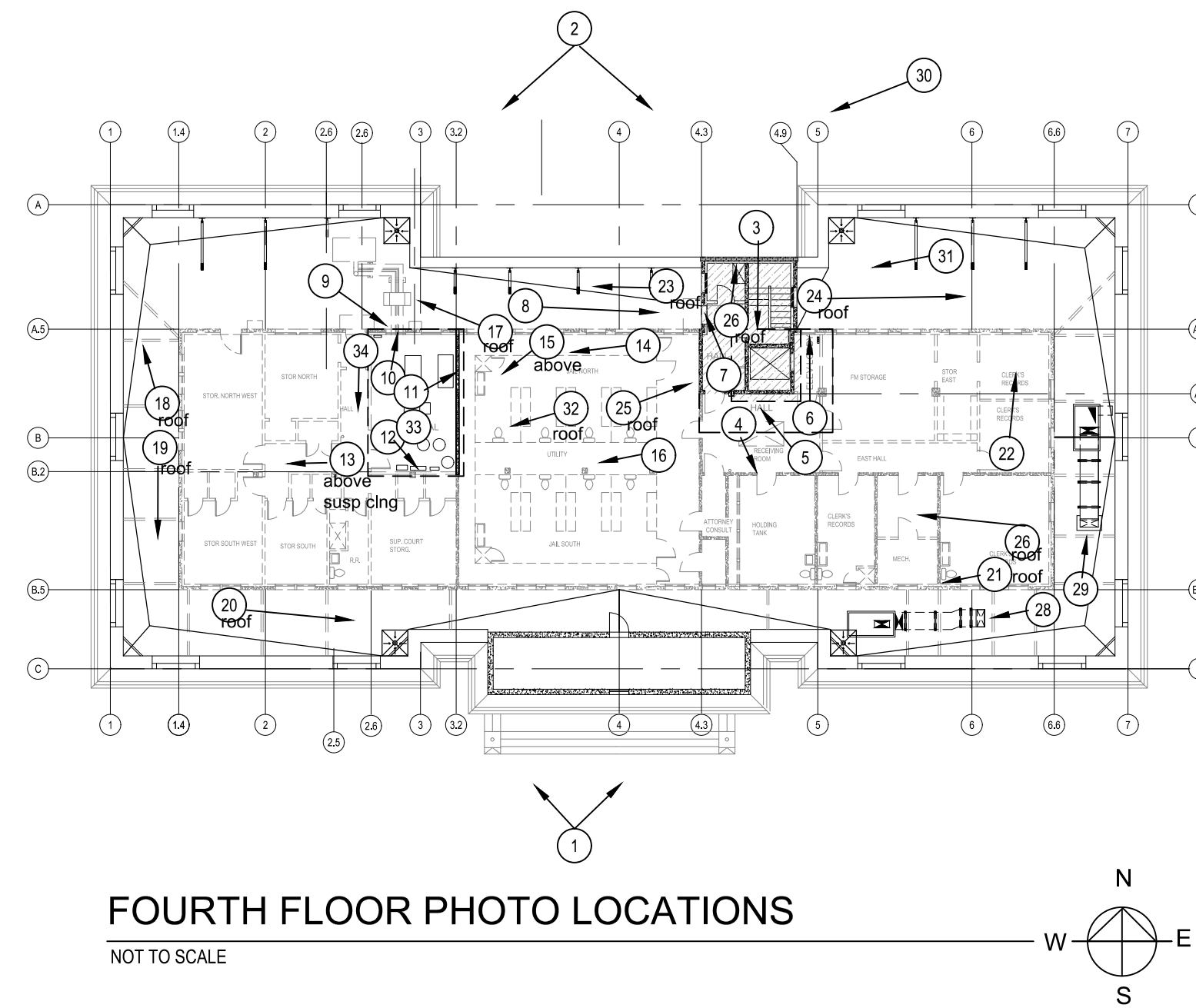
1 SOUTH VIEW OF BUILDING
A0.3 NOT TO SCALE



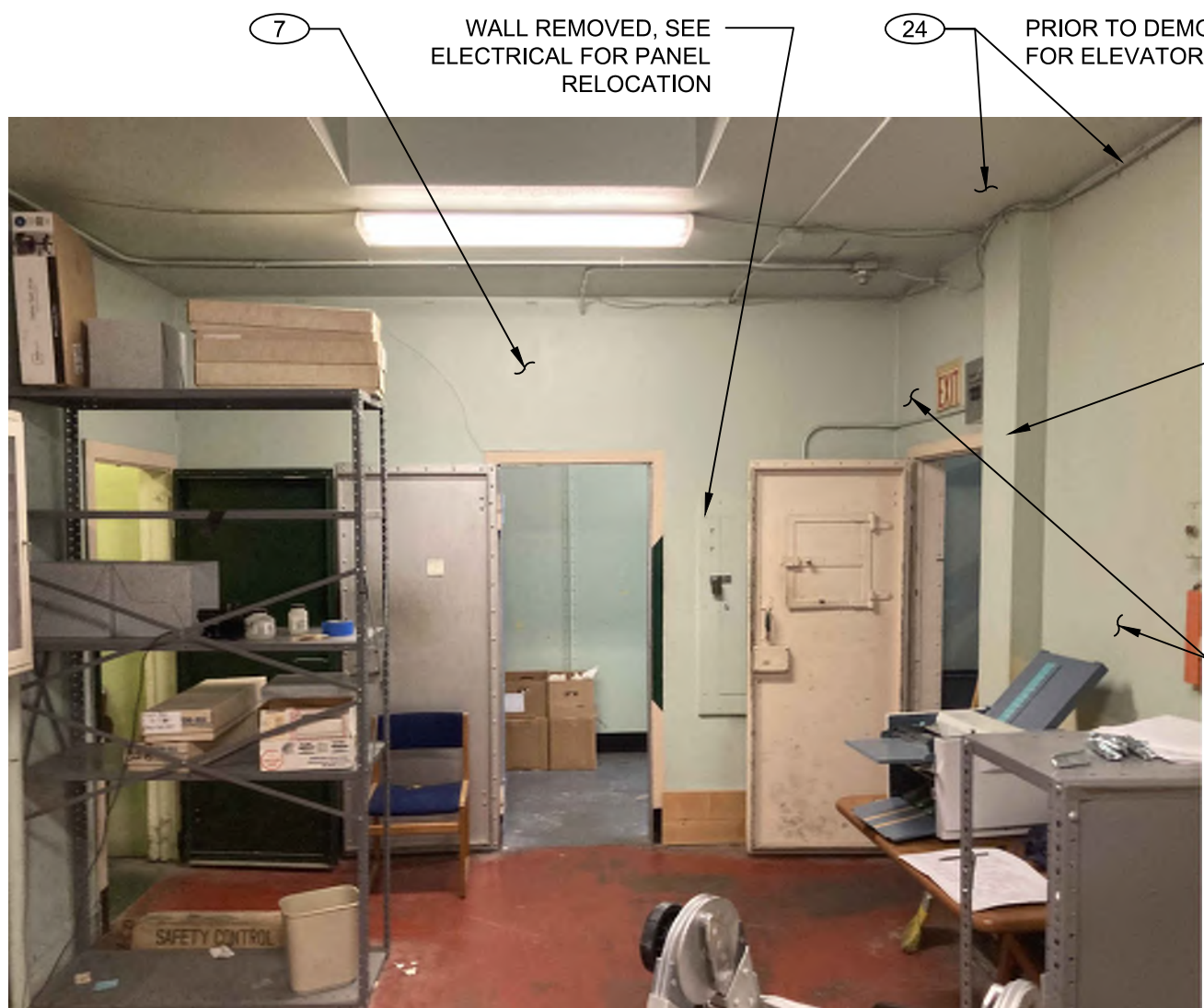
2 NORTH VIEW OF BUILDING
A0.3 NOT TO SCALE



3 STAIR INTERIOR
A0.3 NOT TO SCALE



4 RECEIVING ROOM
A0.3 NOT TO SCALE



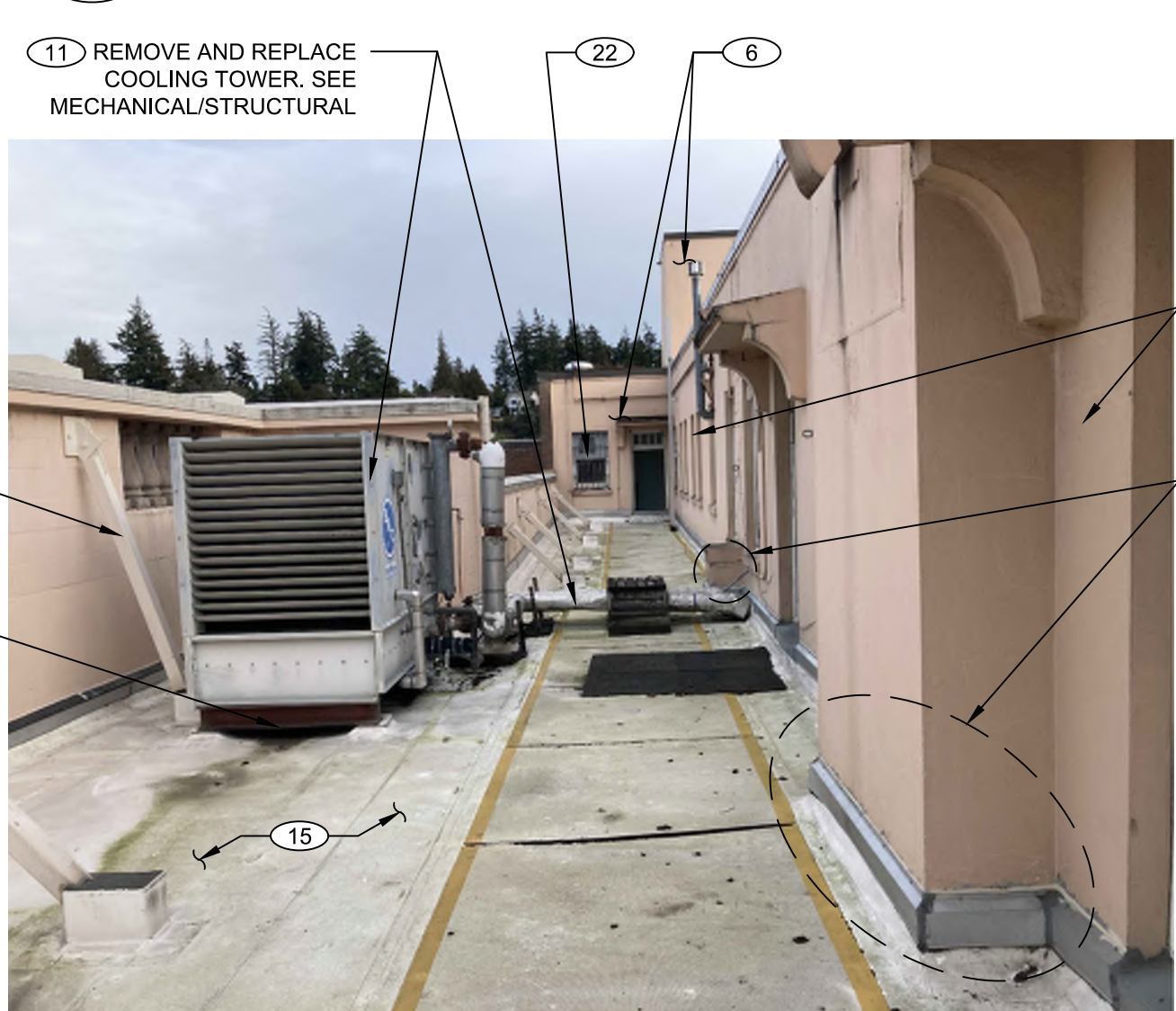
5 RECEIVING ROOM
A0.3 NOT TO SCALE



6 SOUTH EAST PARKING
A0.3 NOT TO SCALE



7 DOOR TO WALKWAY
A0.3 NOT TO SCALE



8 NORTH PERIMETER WALK FACING EAST
A0.3 NOT TO SCALE



9 COOLING PIPES INTO MECHANICAL ROOM
A0.3 NOT TO SCALE

- DEMOLITION KEY NOTES** - INDICATED WITH FOLLOWING TYPICAL TAGS: #
- NOT ALL LOCATIONS ARE TAGGED. TAGS INDICATED TYPICAL LOCATIONS. REFER ALSO TO WALL LEGEND ON DEMO PLAN
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 2. REMOVE INTERIOR 5" CONCRETE WALLS.
 3. REMOVE INTERIOR 4" TILE WALLS.
 4. REMOVE CONCRETE COLUMNS.
 5. RETAIN CONCRETE COLUMNS.
 6. RETAIN EXTERIOR WALLS. PREP FOR NEW FINISHES AND ASSEMBLIES PER WALL TYPES AND DETAILS, TYPICAL
 7. RETAIN 5" CONCRETE WALLS. PROVIDE TEMPORARY SUPPORT AS NEEDED
 8. MECHANICAL WATER TANK AND BRACE SUPPORT TO REMAIN.
 9. REMOVE DOOR AND TRANSOM AND PREP OPENING FOR REPLACEMENT DOOR.
 10. REMOVE AND SEAL OFF UNUSED SHAFTS TYPICAL.
 11. REMOVE COOLING TOWER AND PIPING. PREP FOR REPLACEMENT - PER MECHANICAL.
 12. REMOVE PLUMBING FIXTURES AND CAP WATER/WASTE LINES - PER PLUMBING.
 13. REMOVE STEEL JAIL BARS, WALLS, CEILINGS, BEDS AND OTHER MATERIALS IN AREAS OF DEMOLITION. PROVIDE LEAD PAINT ABATEMENT PROCEDURES WHERE REQUIRED.
 14. REMOVE DOORS, WINDOWS AND OTHER MATERIALS IN AREAS OF DEMOLITION. PROVIDE LEAD/ASBESTOS ABATEMENT WHERE REQUIRED.
 15. REMOVE AND PREP FOR REPLACEMENT EXISTING 3RD FLOOR ROOF ASSEMBLY TO CONCRETE STRUCTURE. ALL ROOFING ACCESSORIES SHALL BE REMOVED/REPLACED.
 16. REMOVE AND PREP FOR REPLACEMENT OF STEEL PARAPET BRACES WHERE ATTACHED TO JAIL WALLS. REFER TO STRUCTURAL DOCUMENTS FOR REPLACEMENT DETAILS.
 17. RELOCATE CLASS 2 STANDPIPE-BY FIRE SPRINKLER SUB. RUN NEW PIPING UNDER NEW ROOF INSULATION. SEE SHEET A2.1.
 18. PROVIDE TEMPORARY SUPPORT FOR ELECTRICAL PANELS AND CONDUITS DURING REMOVAL OF WALLS AND COLUMNS.
 19. RETAIN ROOF STRUCTURES ABOVE IN THIS AREA. ALL OTHER ROOFS AND BEAMS TO BE REMOVED.
 20. 4" ROOF DRAIN IN SUMP.
 21. RETAIN WATER HEATER VENT DURING DEMOLITION.
 22. AT STORAGE WINDOW OPENING, REMOVE EXTERIOR JAIL BARS, REMOVE WINDOW FRAME AND TRIMS. REMOVE LOUVER AND PREP FOR REPLACEMENT IN NEW FRAMING AND DEIFS PER ELEVATIONS AND SECTIONS.
 23. REMOVE SHORT PARAPET BRACE AND PREP FOR REPLACEMENT PER STRUCTURAL.
 24. PRIOR TO DEMOLITION, PROVIDE STEEL BRACES TO SUPPORT ELEVATOR OVERRUN CANTILEVER. SEE STRUCTURAL.
 25. REMOVE WINDOW IN STAIR WELL. INSTALL NEW FRAMING, FIXED ALUMINUM STOREFRONT WINDOW IN DEIFS WALL ASSEMBLY. SEAL SPRINKLER DRAIN PIPE PER DETAILS.
 26. WINDOW AT ELEVATOR OVERRUN TO REMAIN. SAND AND PAINT FRAME. INTEGRATE WITH NEW DEIFS TYPICAL.

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206-443-6499

Peteresen
Thomas Lambert
REGISTERED
PROFESSIONAL ENGINEER
46585

ABB Project
22-7763.01

Skagit County Facilities
Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Rooflop Jailhouse Removal*

OWNER NAME / ADDRESS:
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a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*

PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*

PROPERTY MANAGER:
*Skagit County Facilities
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1800 Continental Place
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Contact: Ken Hansen*

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	BID SET ISSUE	09/25/23

CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE

**PHOTO
SHEET#1**

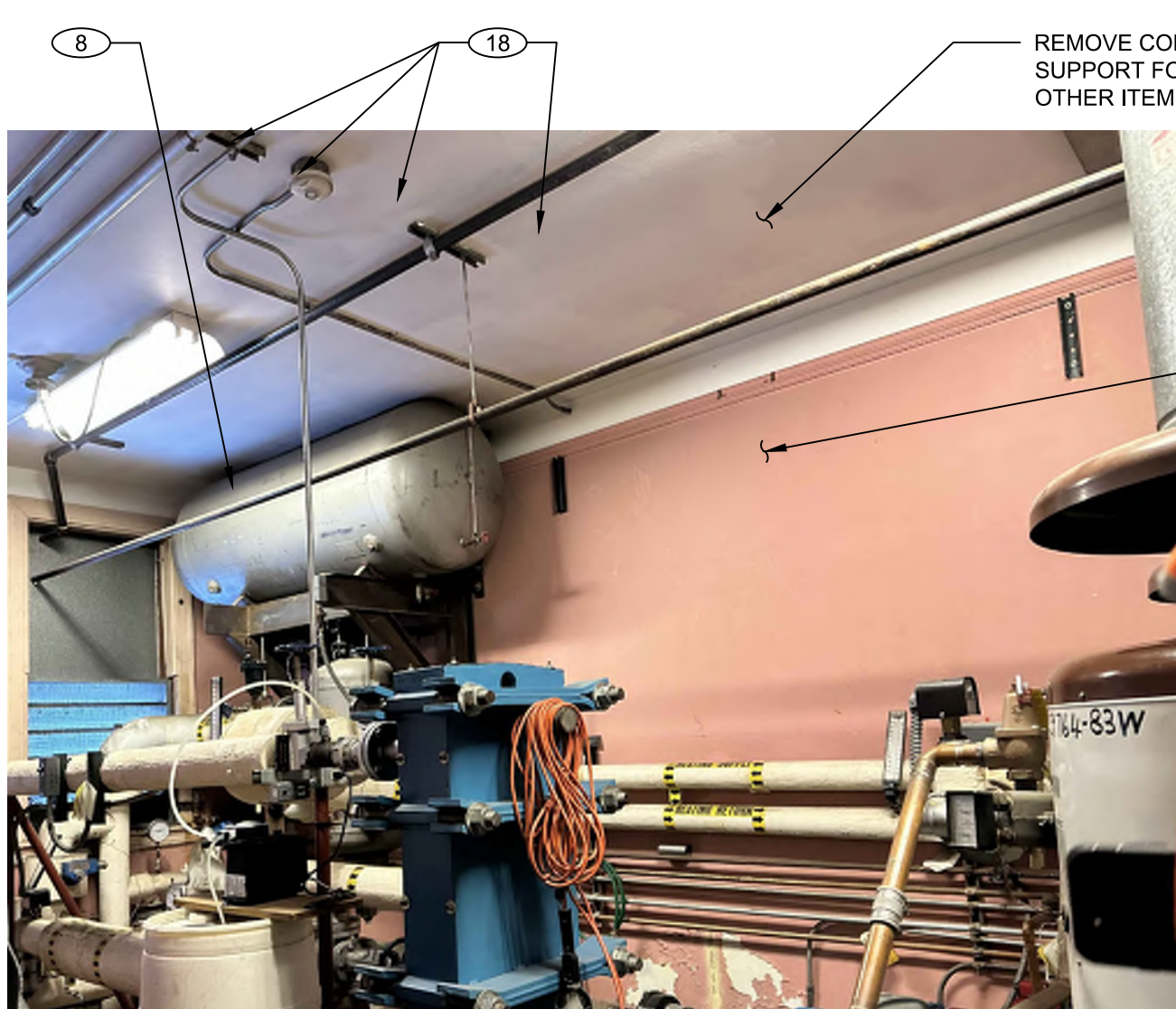
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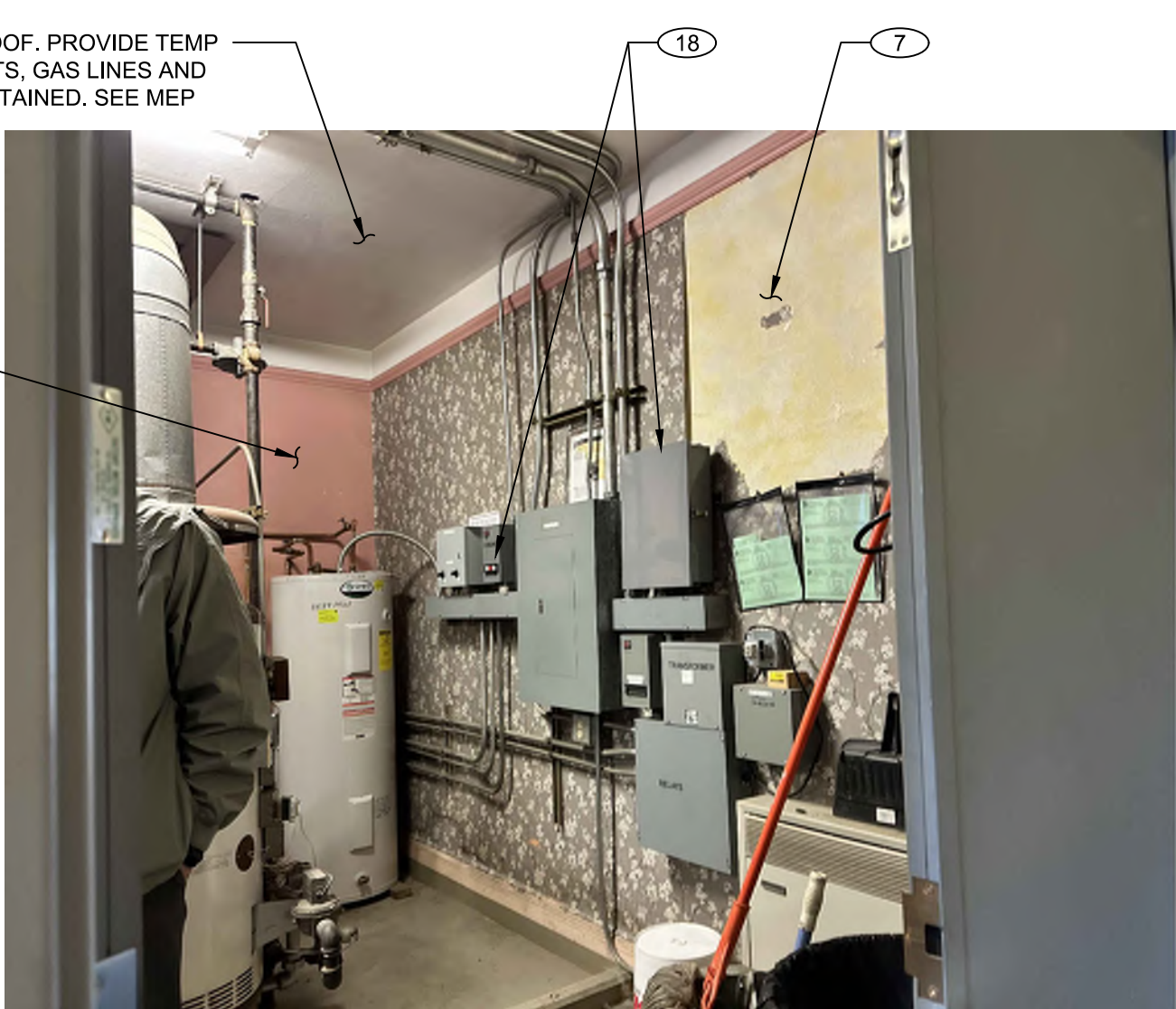
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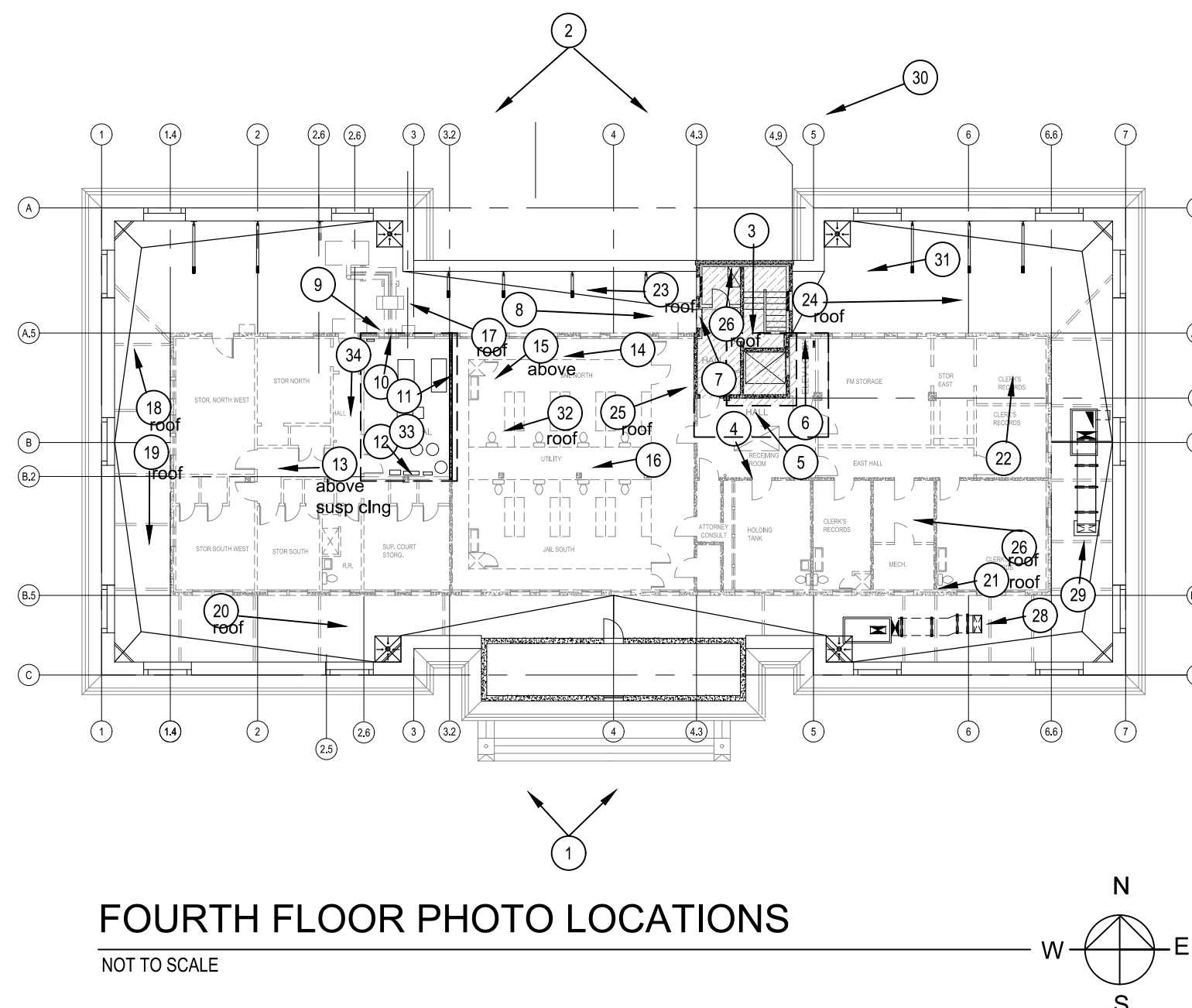
10 MECHANICAL ROOM FACING NORTH
A0.4 NOT TO SCALE



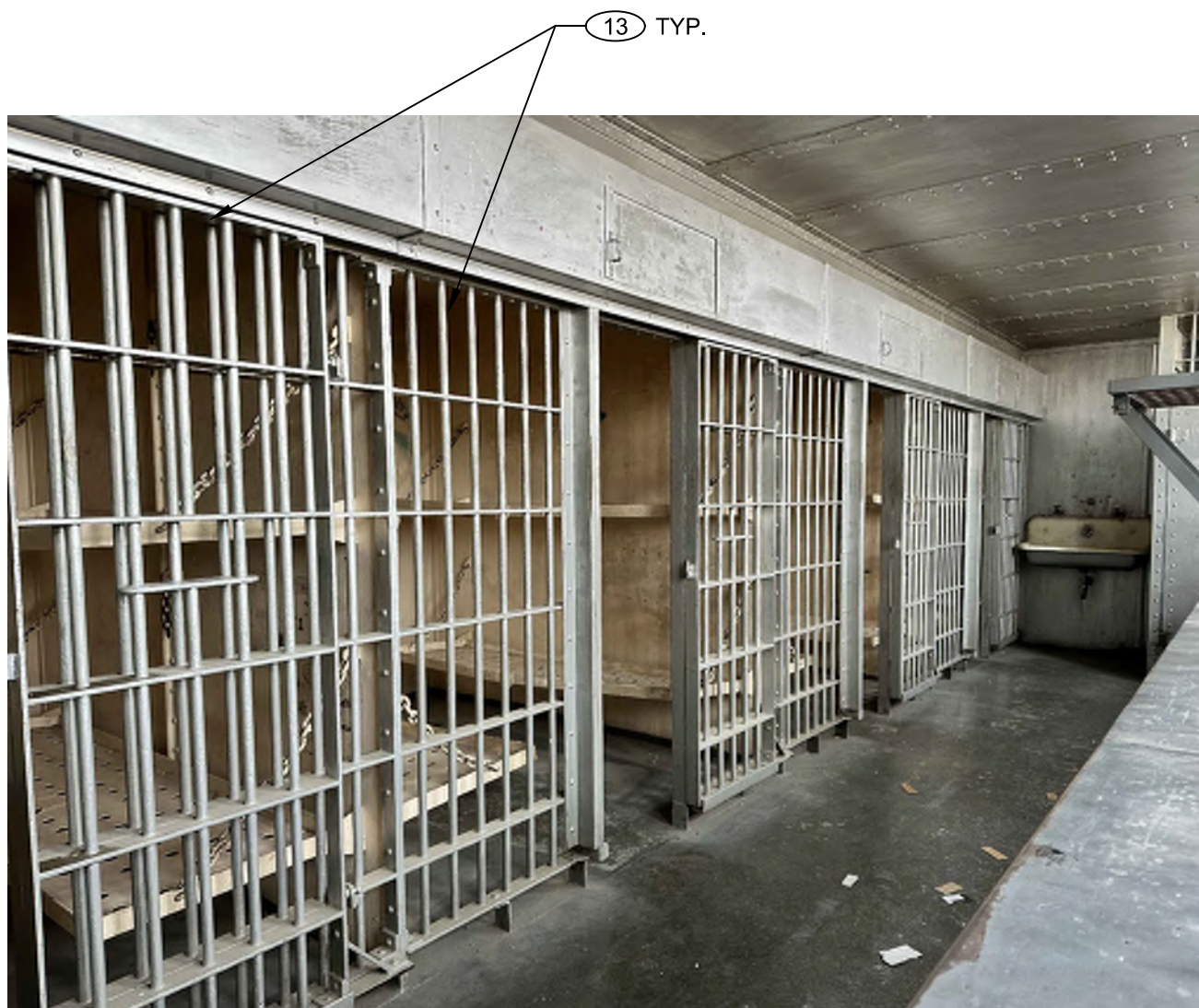
11 MECHANICAL ROOM FACING EAST
A0.4 NOT TO SCALE



12 MECHANICAL ROOM FACING SOUTH
A0.4 NOT TO SCALE



13 CONC. BEAM ABOVE JAIL SUSP. CLNG.
A0.4 NOT TO SCALE



14 JAIL INTERIOR
A0.4 NOT TO SCALE



15 TOP OF JAIL ROOMS (STEEL PLATES)
A0.4 NOT TO SCALE



16 TOP OF JAIL ROOMS (STEEL PLATES)
A0.4 NOT TO SCALE



17 COOLING TOWER NORTH
A0.4 NOT TO SCALE



18 PERIMETER WALKWAY NORTH WEST
A0.4 NOT TO SCALE

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 20. 4" ROOF DRAIN IN SUMP.
 21. RETAIN WATER HEATER VENT DURING DEMOLITION.
 22. AT STORAGE WINDOW OPENING, REMOVE EXTERIOR JAIL BARS, REMOVE WINDOW FRAME AND TRIMS. REMOVE LOUVER AND PREP FOR REPLACEMENT IN NEW FRAMING AND DEIFS PER ELEVATIONS AND SECTIONS.
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Peteresen

ABB Project
22-7763.01

Skagit County Facilities
Project # 3809

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*Skagit County Superior Court
Roof Top Jailhouse Removal*

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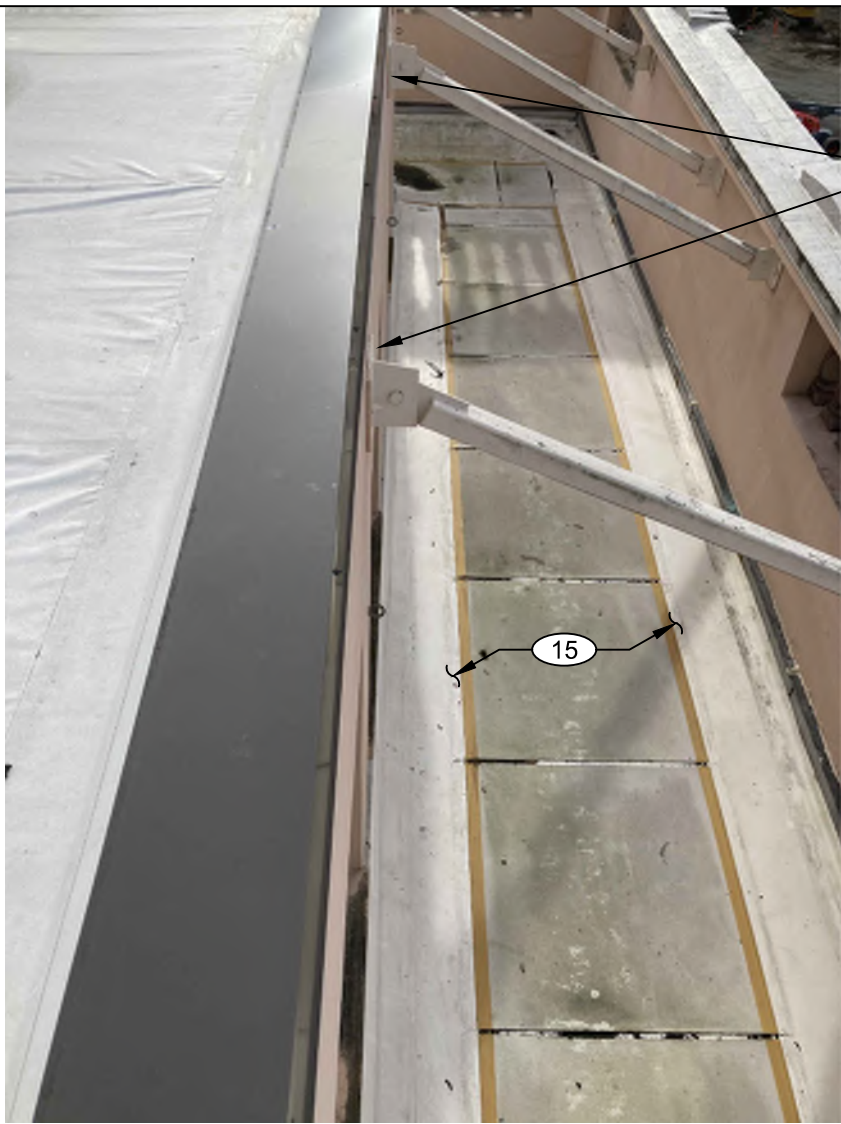
SHEET TITLE

**PHOTO
SHEET#2**

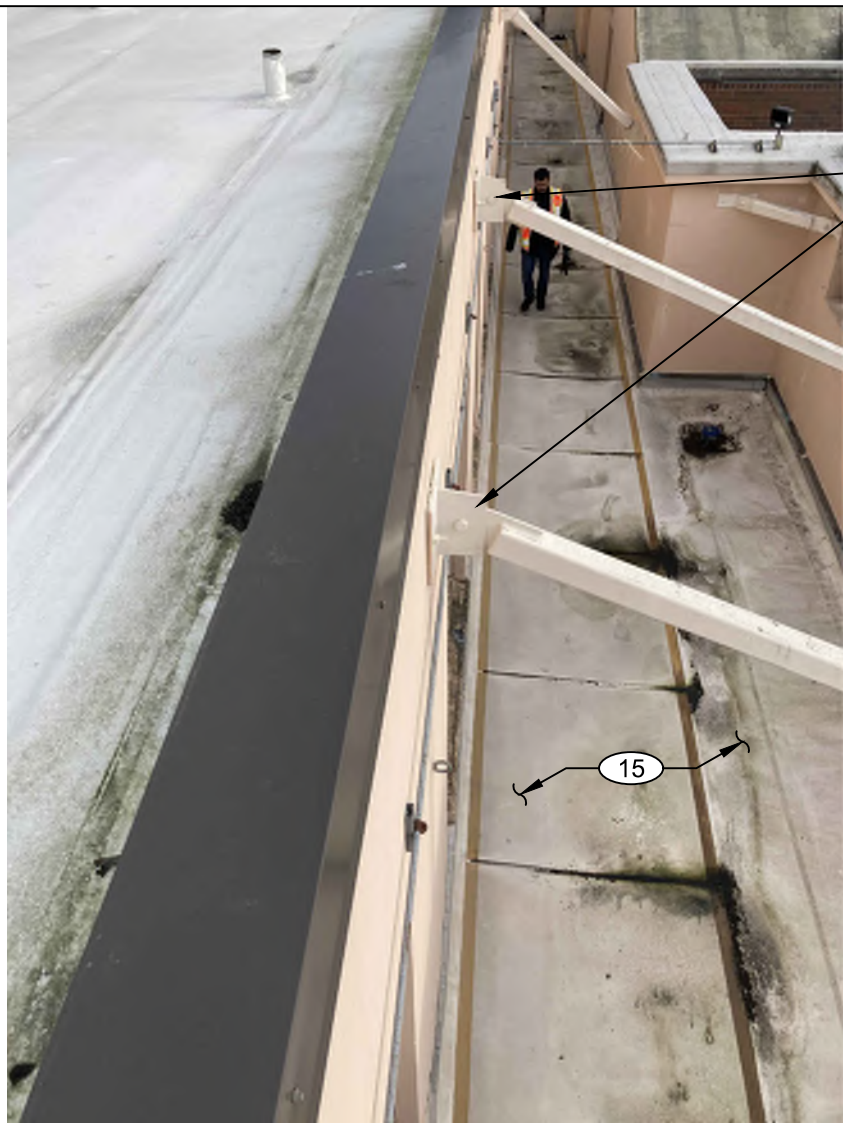
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A0.4

SHEET



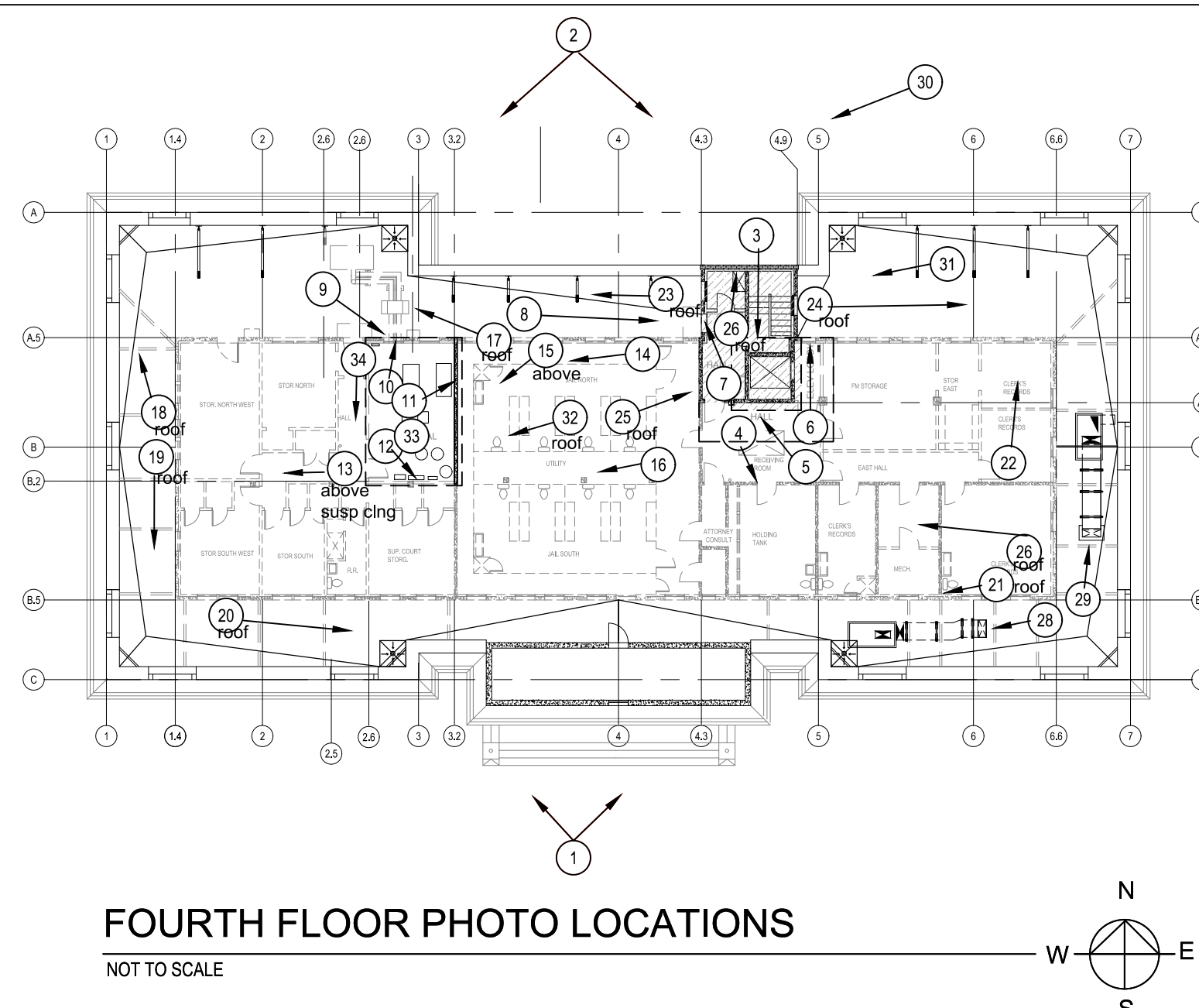
19 PERIMETER WALKWAY WEST FACING NORTH
A0.5 NOT TO SCALE



20 PERIMETER WALKWAY SOUTH
A0.5 NOT TO SCALE



21 PERIMETER WALKWAY SOUTH (RTU-1)
A0.5 NOT TO SCALE



22 PERIMETER WALKWAY EAST (RTU-2)
A0.5 NOT TO SCALE



23 PERIMETER WALL NORTH FACING WEST
A0.5 NOT TO SCALE



24 PERIMETER WALL NORTH FACING EAST
A0.5 NOT TO SCALE



25 ELEVATOR TOWER FACING EAST
A0.5 NOT TO SCALE



26 BASE OF ELEVATOR TOWER/STAIR ROOF
A0.5 NOT TO SCALE



26 BASE OF ELEVATOR TOWER AND JAIL ROOF
A0.5 NOT TO SCALE

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Thomas Lambert
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Skagit County Facilities
Project # 3809

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Roof Top Jailhouse Removal

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PROPERTY MANAGER:
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Contact: Ken Hansen

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SHEET TITLE

PHOTO
SHEET#3

SCALE: NOTED ON DRAWINGS

A0.5

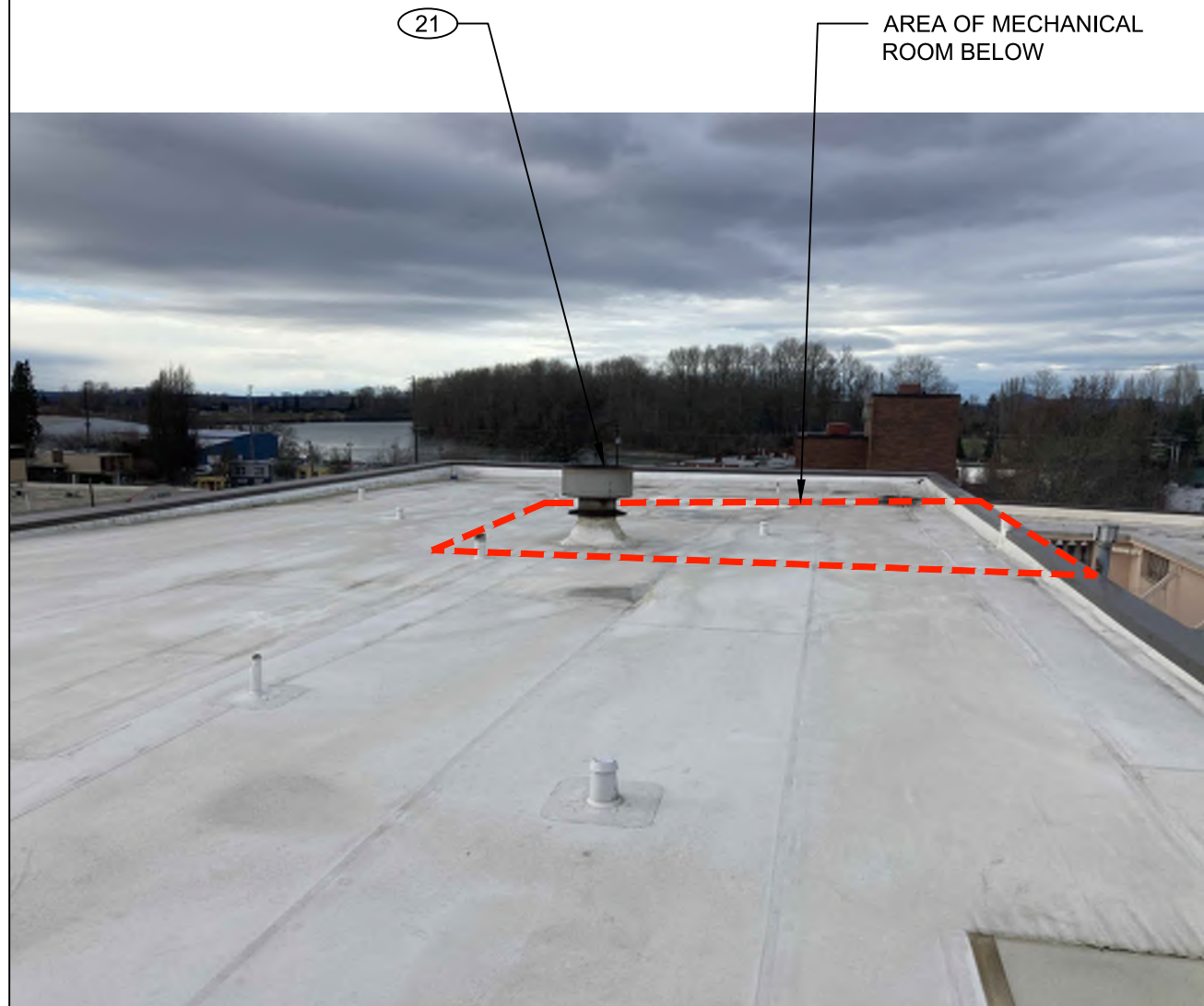
SHEET



27 ELEVATOR TOWER ROOF
A0.6 NOT TO SCALE



29A TYPICAL ROOF DRAIN
A0.6 NOT TO SCALE



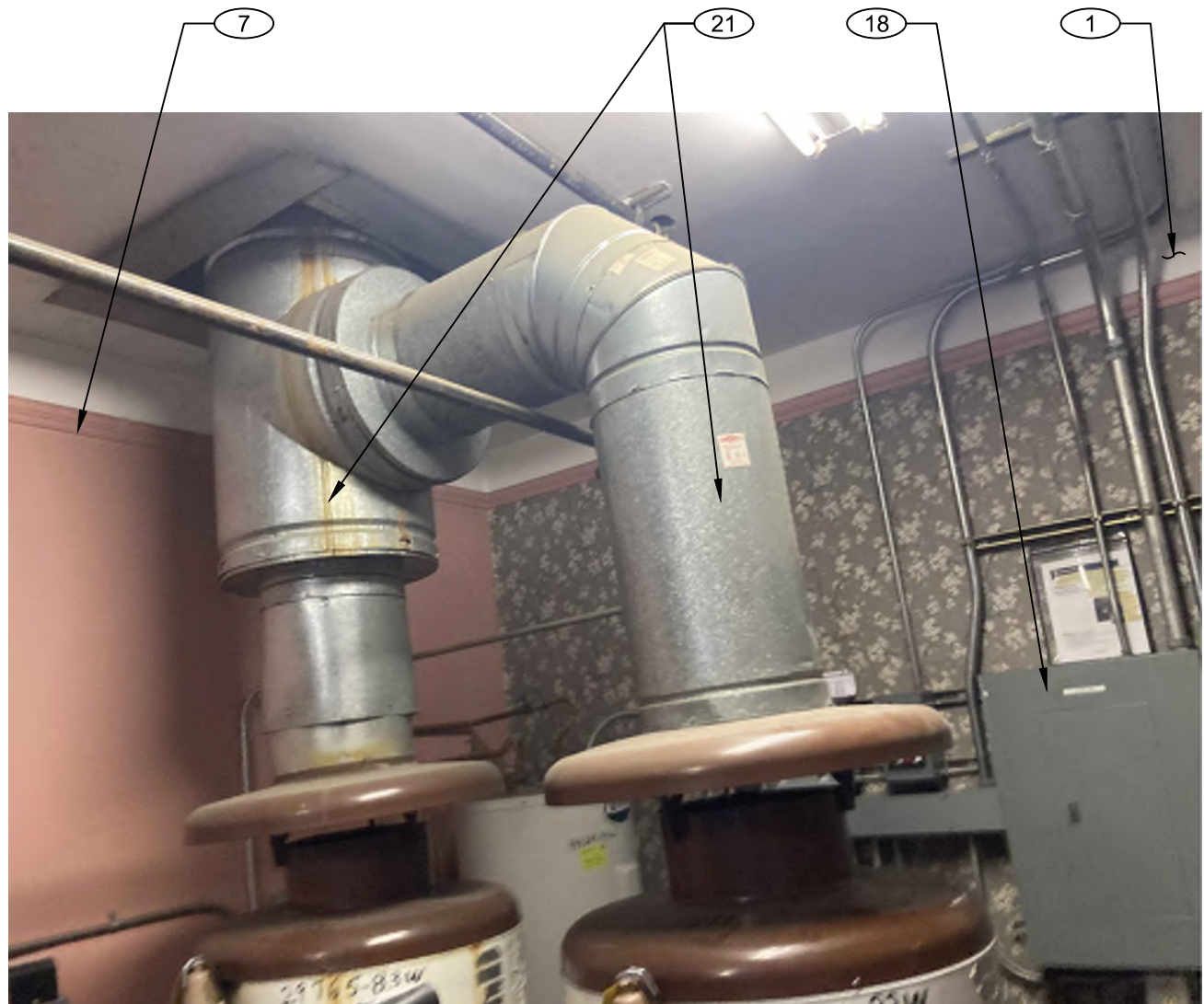
32 JAIL ROOF FACING WEST
A0.6 NOT TO SCALE



28 RTU 1 - SOUTH SIDE
A0.6 NOT TO SCALE



30 NORTH BUILDING FACADE
A0.6 NOT TO SCALE



33 MECHANICAL ROOM WATER HEATER VENTING
A0.6 NOT TO SCALE



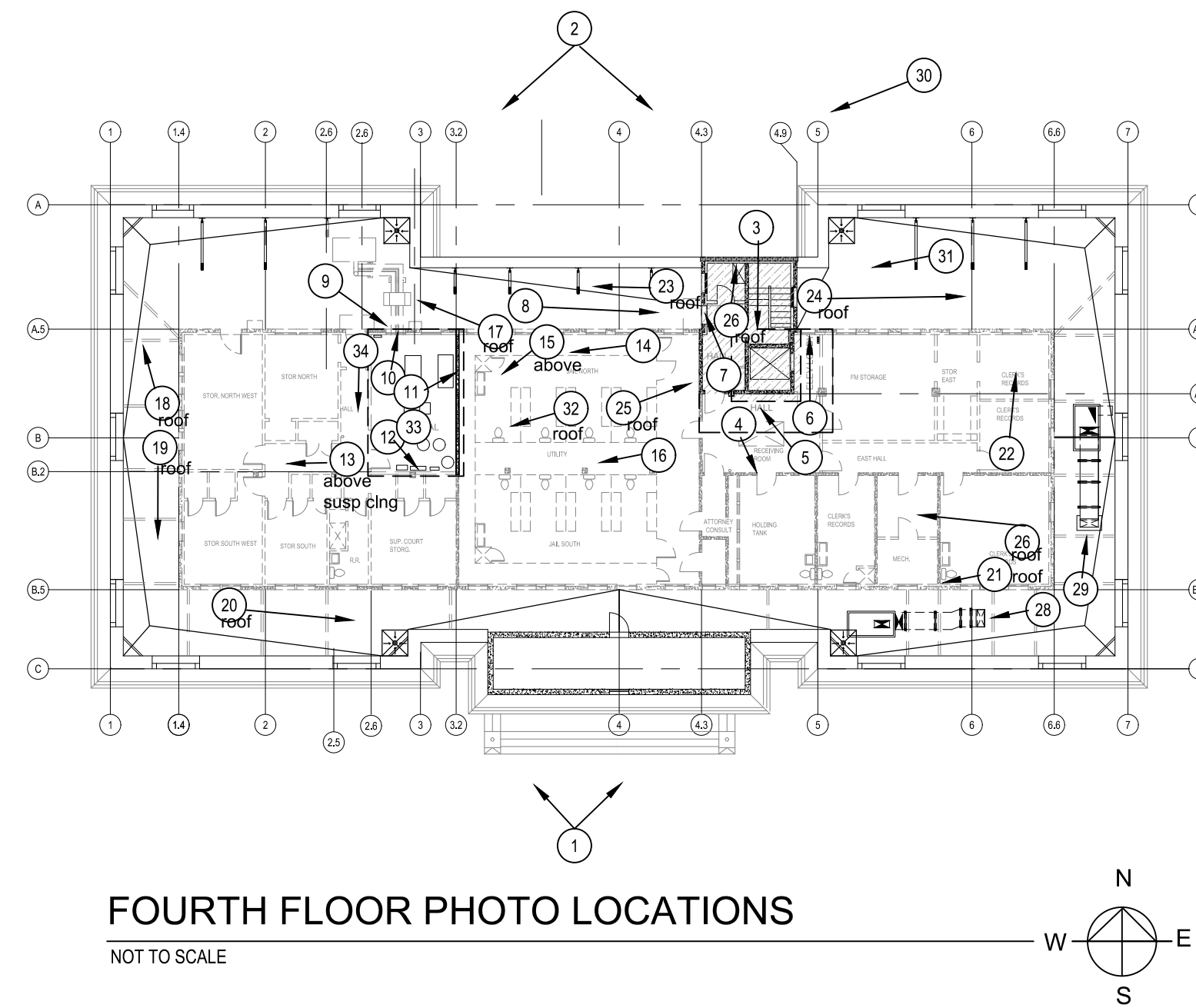
29 RTU 2 - EAST SIDE
A0.6 NOT TO SCALE



31 NORTH JAIL FACADE - EAST PORTION
A0.6 NOT TO SCALE



34 CLASS 2 STANDPIPE OUTSIDE MECHANICAL ROOM
A0.6 NOT TO SCALE



FOURTH FLOOR PHOTO LOCATIONS
NOT TO SCALE

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ABB Project
22-7763.01

Skagit County Facilities
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CITY OF MOUNT VERNON
PERMIT NUMBER
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SHEET TITLE

**PHOTO
SHEET#4**

SCALE: NOTED ON DRAWINGS

A0.6

SHEET



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ABB Project
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Skagit County Facilities
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SHEET TITLE

3RD FLOOR
PLAN
EXISTING

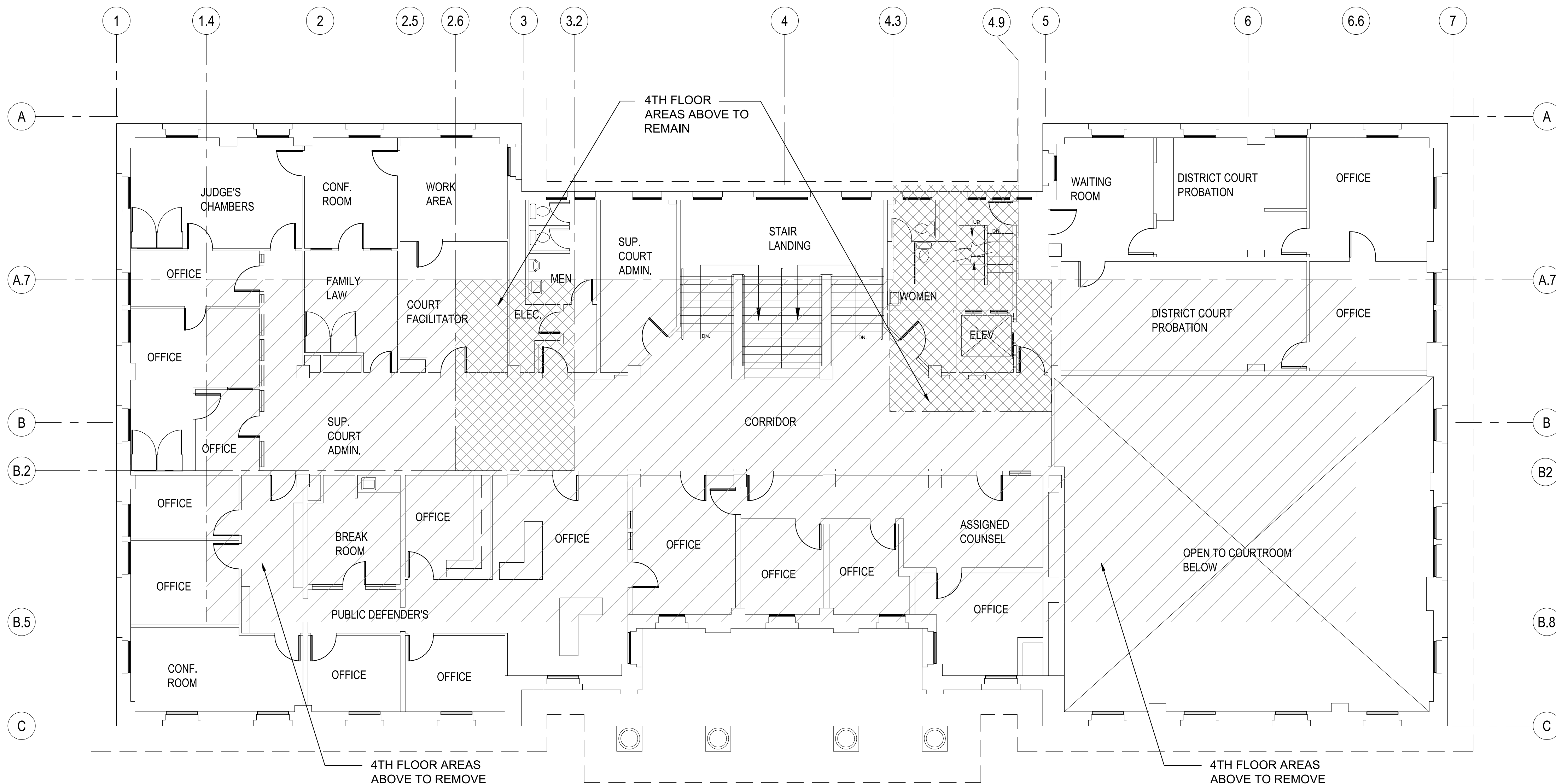
SCALE: NOTED ON DRAWINGS

D2.1

SHEET

DEMOLITION GENERAL NOTES

- DEMOLITION SHALL BE PERFORMED WITH SENSITIVITY TO COURTROOMS IN DAILY USE.
- GC SHALL PHOTO DOCUMENT CONDITIONS BELOW AREAS OF WORK BEFORE STARTING DEMOLITION.
- GC SHALL INSPECT CEILING AND WALL CONDITIONS AT FLOOR BELOW AFTER EACH DAY OF WORK. ANY DAMAGE TO MATERIALS BELOW SHALL BE REPAIRED IN KIND.
- REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DOCUMENTS FOR RELATED DEMOLITION NOTES.
- REFER TO OWNER PROVIDED ASBESTOS AND LEAD TESTING REPORTS IN SPECIFICATION APPENDICES. GC SHALL INCLUDE COST OF ABATEMENT IN THEIR BID. GC IS RESPONSIBLE FOR PROVIDING ANY ADDITIONAL REQUIRED TESTING AND ABATEMENT REPORTS FOR SUSPECTED MATERIALS NOT INCLUDED IN PROVIDED REPORTS.



1

D2.1

THIRD FLOOR PLAN (FOR INFORMATION)

SCALE: 1/8" = 1'-0", DO NOT SCALE!

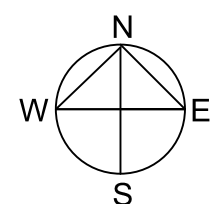


Diagram illustrating the proposed renovation of the existing jail house. The diagram shows a cross-section of the building with various areas labeled for removal or retention.

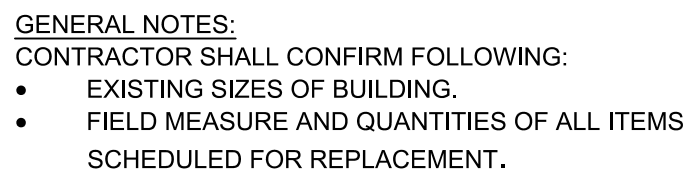
- REMOVE INTERIOR CONC WALLS (2)
- REMOVE PLUMBING FIXTURES (12)
- REMOVE EXTERIOR WALLS WITH TILE ON INSIDE AND CONCRETE ON OUTSIDE (14)
- REMOVE WINDOWS (3, 7, 14)
- TILE WALLS TO REMOVE
- CONCRETE WALLS TO RETAIN
- DOORS TO REMOVE (14)
- INTERIOR WALLS AND DOORS TO RETAIN
- EXTERIOR WALLS AND WINDOWS TO RETAIN (6, 9)
- DOORS TO REMOVE AND REPLACE (19)
- ROOF AREAS TO RETAIN. ALL OTHER AREAS OF JAIL HOUSE WILL HAVE COMPLETE REMOVAL OF ALL ROOF AND BEAMS

- A. DEMOLITION SHALL BE PERFORMED WITH SENSITIVITY TO COURTROOMS IN DAILY USE.
- B. GC SHALL PHOTO DOCUMENT CONDITIONS BELOW AREAS OF WORK BEFORE STARTING DEMOLITION.
- C. GC SHALL INSPECT CEILING AND WALL CONDITIONS AT FLOOR BELOW AFTER EACH DAY OF WORK. ANY DAMAGE TO MATERIALS BELOW SHALL BE REPAIRED IN KIND.
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NOT ALL LOCATIONS ARE TAGGED. TAGS INDICATED TYPICAL LOCATIONS. REFER ALSO TO WALL LEGEND ON DEMO PLAN

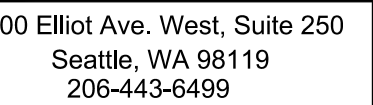
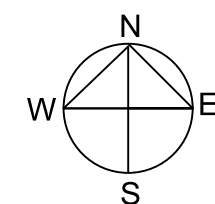
1. REMOVE EXTERIOR 5" CONCRETE WALLS WITH 4" TILE AT INTERIOR SIDE.
2. REMOVE INTERIOR 5" CONCRETE WALLS.
3. REMOVE INTERIOR 4" TILE WALLS.
4. REMOVE CONCRETE COLUMNS.

17. RELOCATE CLASS 2 STANDPIPE-BY FIRE SPRINKLER SUB. RUN NEW PIPING UNDER NEW ROOF INSULATION, SEE SHEET A2.1.
18. PROVIDE TEMPORARY SUPPORT FOR ELECTRICAL PANELS AND CONDUITS DURING REMOVAL OF WALLS AND COLUMNS.
19. RETAIN ROOF STRUCTURES ABOVE IN THIS AREA. ALL OTHER ROOFS AND BEAMS TO BE REMOVED.
20. 4" ROOF DRAIN IN SUMP.
21. RETAIN WATER HEATER VENT DURING DEMOLITION.
22. AT STORAGE WINDOW OPENING, REMOVE EXTERIOR JAIL BARS, REMOVE WINDOW FRAME AND TRIMS. REMOVE LOUVER AND PREP FOR REPLACEMENT IN NEW FRAMING AND DEIFS PER ELEVATIONS AND SECTIONS.
23. REMOVE SHORT PARAPET BRACE AND PREP FOR REPLACEMENT PER STRUCTURAL.
24. PRIOR TO DEMOLITION, PROVIDE STEEL BRACES TO SUPPORT ELEVATOR OVERRUN CANTILEVER. SEE STRUCTURAL.
25. REMOVE WINDOW IN STAIR WELL. INSTALL NEW FRAMING, FIXED ALUMINUM STOREFRONT WINDOW IN DEIFS WALL ASSEMBLY. SEAL SPRINKLER DRAIN PIPE PER DETAILS.
26. WINDOW AT ELEVATOR OVERRUN TO REMAIN. SAND AND PAINT FRAME. INTEGRATE WITH NEW DEIFS TYPICAL.



1 FOURTH FLOOR AND ROOF DEMOLITION PLAN

D2.2 SCALE: 1/8" = 1'-0". DO NOT SCALE!



Item	Description	Date
	CONSTRUCTION PLANS (REVISED)	03/20/23
	BID SET ISSUE	04/24/23
	PERMIT CORRECTION BID SET	06/21/23
	BID SET ISSUE	09/25/23

CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

4TH FLOOR
AND ROOF
DEMOLITION
PLAN

D2.2

SHEET



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Seattle, WA 98119
206-443-6499



Peteresen

ABB Project
22-7763.01
Skagit County Facilities
Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Roof Top Jailhouse Removal*
OWNER NAME / ADDRESS:
*Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*
PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*
PROPERTY MANAGER:
*Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen*

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CITY OF MOUNT VERNON
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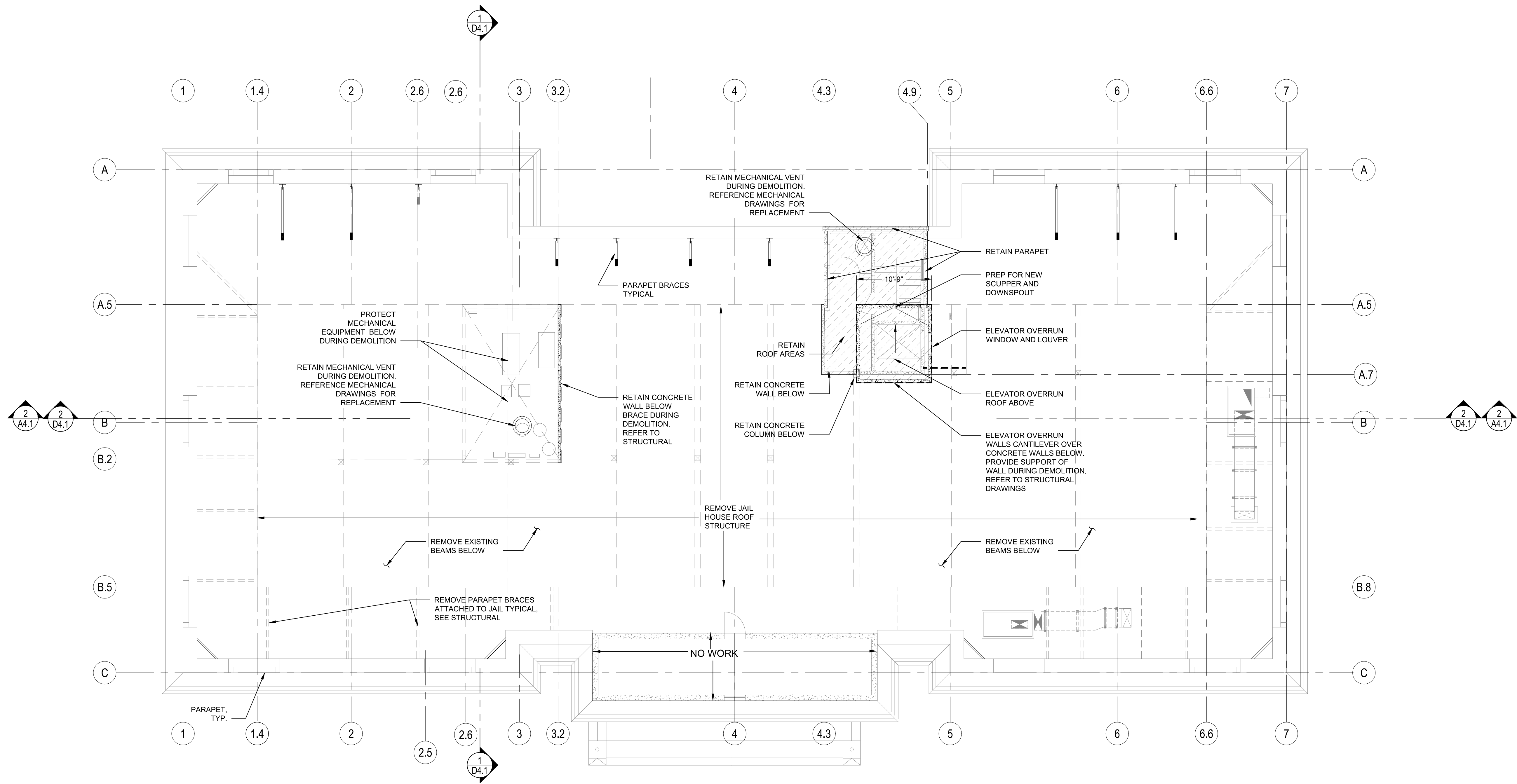
SHEET TITLE

UPPER
ROOF
DEMOLITION
PLAN

SCALE: NOTED ON DRAWINGS

D2.3

SHEET

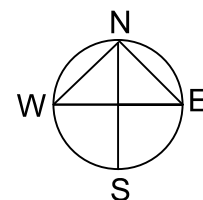


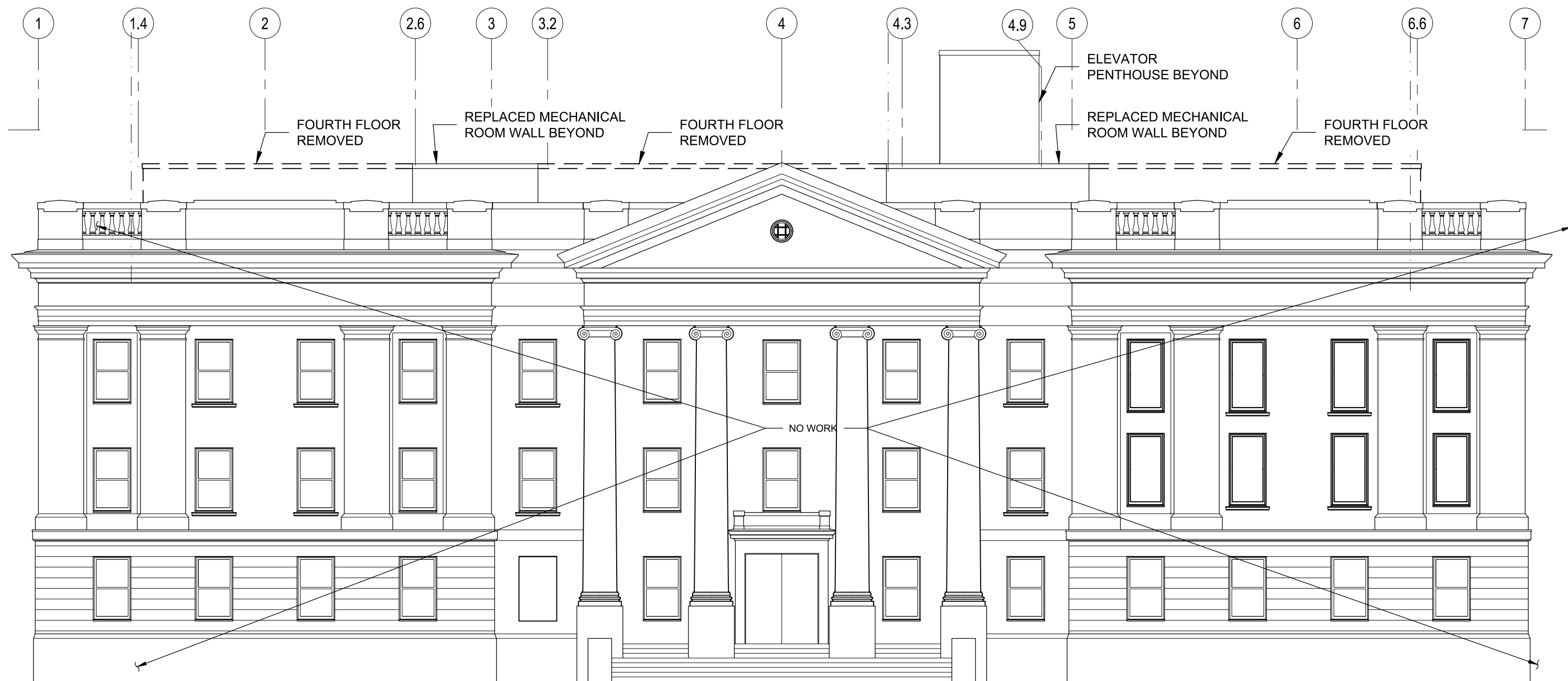
GENERAL NOTES:
CONTRACTOR SHALL CONFIRM FOLLOWING:
• EXISTING SIZES OF BUILDING.
• FIELD MEASURE AND QUANTITIES OF ALL ITEMS
SCHEDULED FOR REPLACEMENT.

1
D2.3

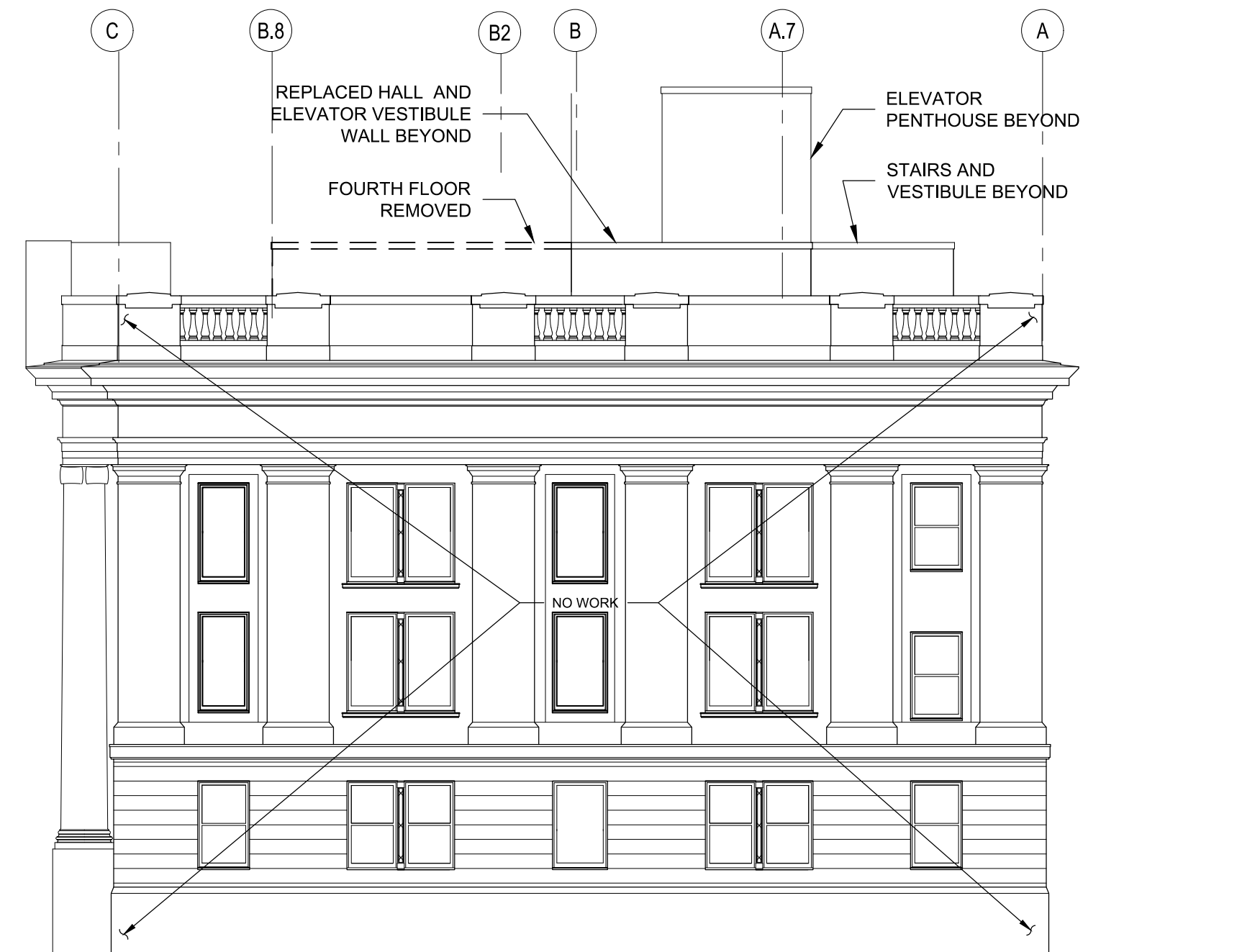
UPPER ROOF DEMOLITION PLAN

SCALE: 1/8" = 1'-0". DO NOT SCALE!

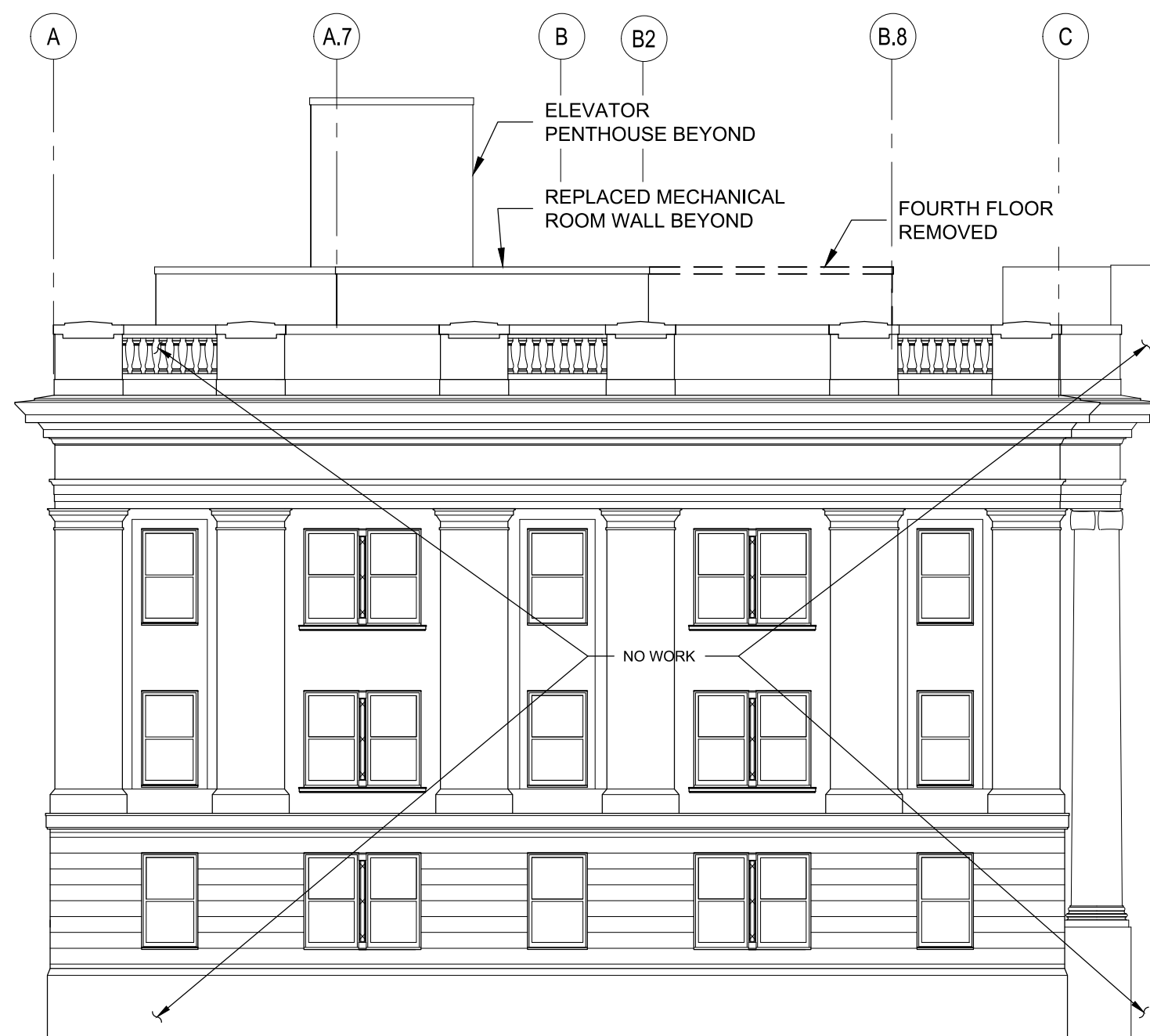




1 EXISTING SOUTH ELEVATION
D2.4 SCALE: 3/32" = 1'-0". DO NOT SCALE!



2 EXISTING EAST ELEVATION
D2.4 SCALE: 3/32" = 1'-0". DO NOT SCALE!



3 EXISTING WEST ELEVATION
D2.4 SCALE: 3/32" = 1'-0". DO NOT SCALE!



4 EXISTING NORTH ELEVATION
D2.4 SCALE: 3/32" = 1'-0". DO NOT SCALE!

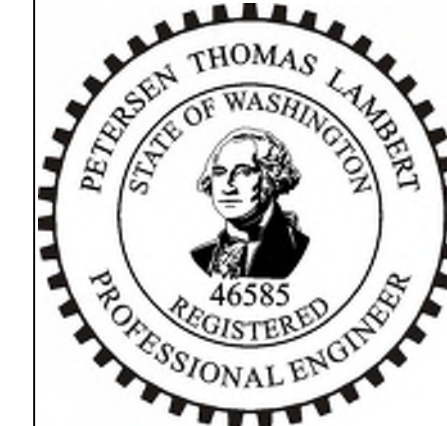
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Peteresen
Thomas Lambert

ABB Project
22-7763.01

Skagit County Facilities
Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Rooftop Jailhouse Removal*
OWNER NAME / ADDRESS:
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a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*

PROPERTY ADDRESS:
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CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE

EXISTING
ELEVATIONS

SCALE: NOTED ON DRAWINGS

D2.4

SHEET

DEMOLITION GENERAL NOTES

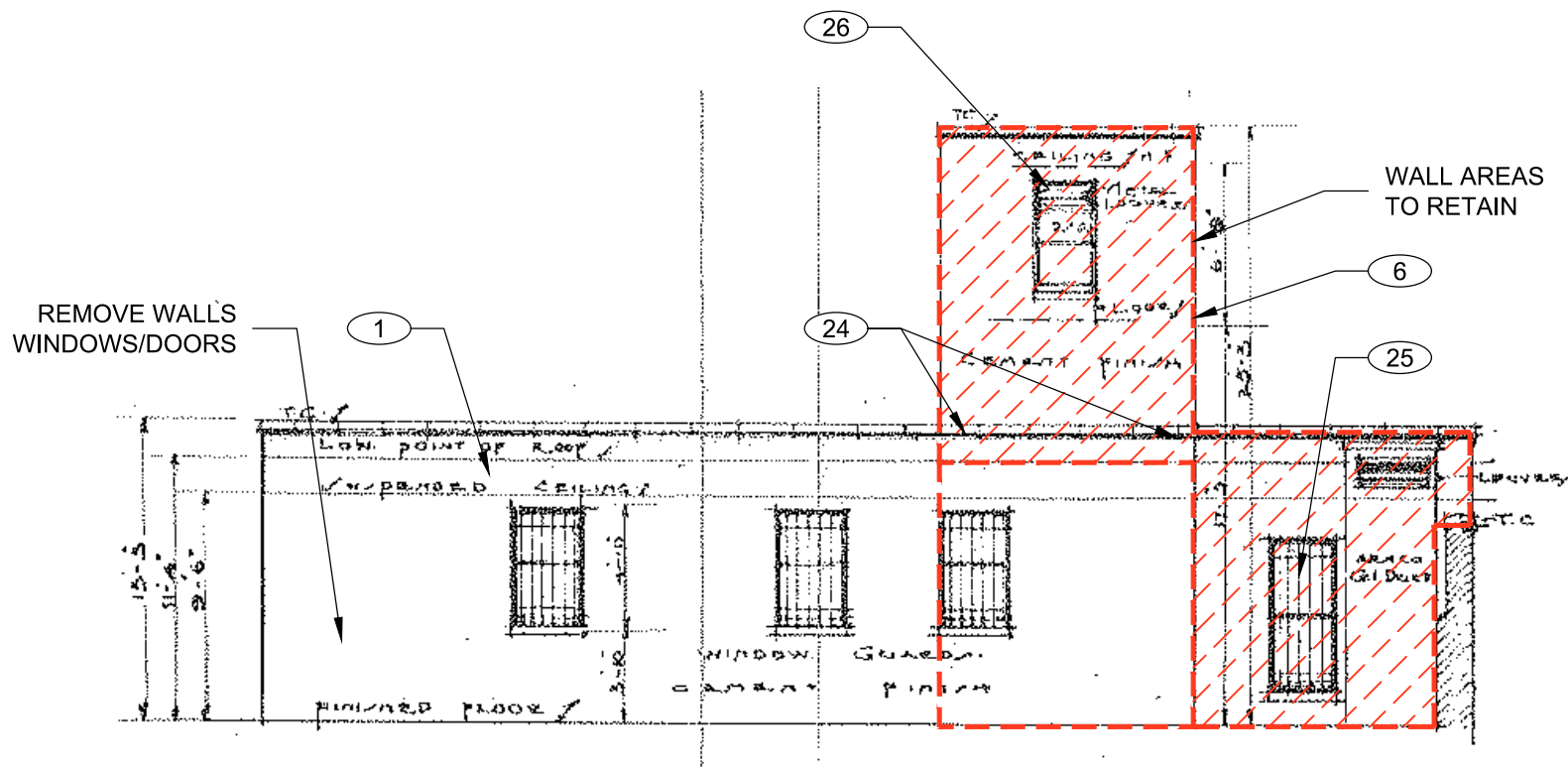
- A. DEMOLITION SHALL BE PERFORMED WITH SENSITIVITY TO COURTROOMS IN DAILY USE.
- B. GC SHALL PHOTO DOCUMENT CONDITIONS BELOW AREAS OF WORK BEFORE STARTING DEMOLITION.
- C. GC SHALL INSPECT CEILING AND WALL CONDITIONS AT FLOOR BELOW AFTER EACH DAY OF WORK. ANY DAMAGE TO MATERIALS BELOW SHALL BE REPAIRED IN KIND.
- D. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DOCUMENTS FOR RELATED DEMOLITION NOTES.
- E. REFER TO OWNER PROVIDED ASBESTOS AND LEAD TESTING REPORTS IN SPECIFICATION APPENDICES. GC SHALL INCLUDE COST OF ABATEMENT IN THEIR BID. GC IS RESPONSIBLE FOR PROVIDING ANY ADDITIONAL REQUIRED TESTING AND ABATEMENT REPORTS FOR SUSPECTED MATERIALS NOT INCLUDED IN PROVIDED REPORTS.

DEMOLITION KEY NOTES - INDICATED WITH FOLLOWING TYPICAL TAGS: # NOT ALL LOCATIONS ARE TAGGED. TAGS INDICATED TYPICAL LOCATIONS. REFER ALSO TO WALL LEGEND ON DEMO PLAN

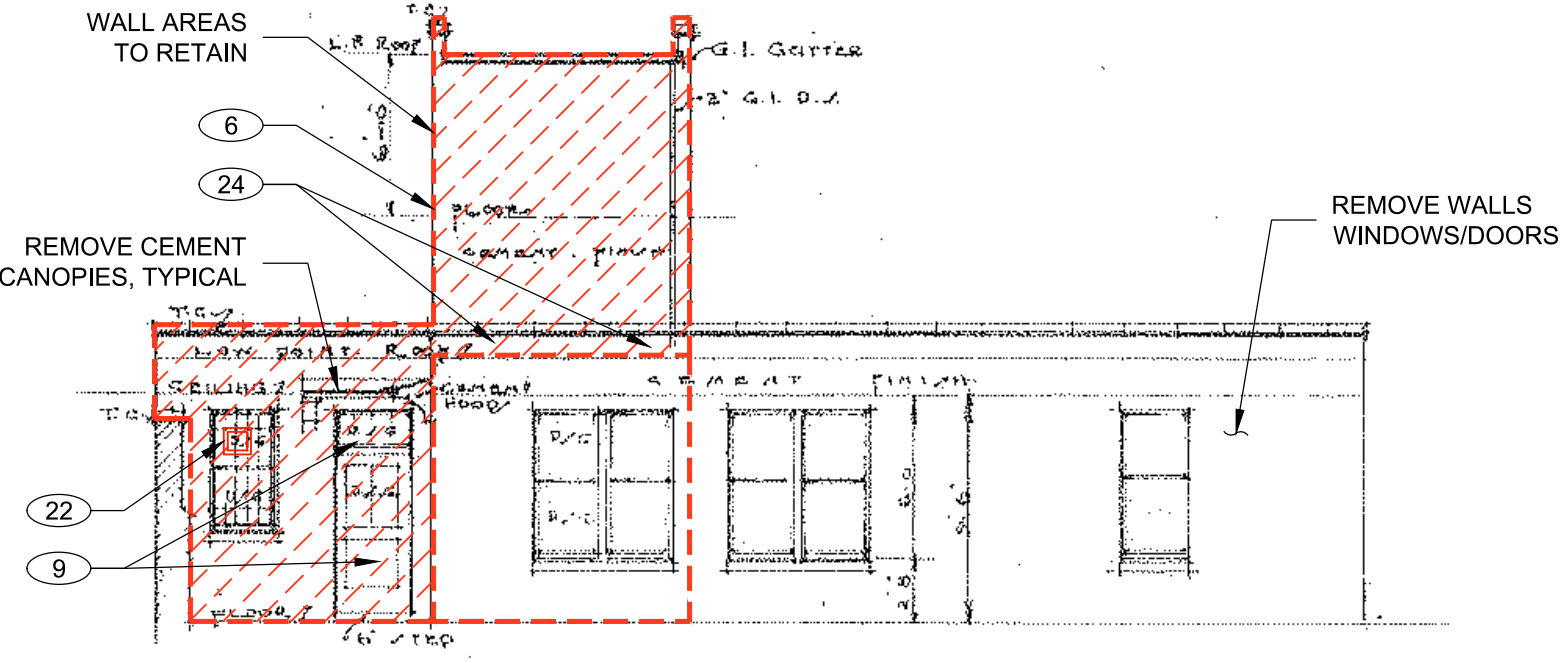
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2. REMOVE INTERIOR 5" CONCRETE WALLS.
3. REMOVE INTERIOR 4" TILE WALLS.
4. REMOVE CONCRETE COLUMNS.
5. RETAIN CONCRETE COLUMNS.
6. RETAIN EXTERIOR WALLS. PREP FOR NEW FINISHES AND ASSEMBLIES PER WALL TYPES AND DETAILS, TYPICAL
7. RETAIN 5" CONCRETE WALLS. PROVIDE TEMPORARY SUPPORT AS NEEDED
8. MECHANICAL WATER TANK AND BRACE SUPPORT TO REMAIN.
9. REMOVE DOOR AND TRANSOM AND PREP OPENING FOR REPLACEMENT DOOR.
10. REMOVE AND SEAL OFF UNUSED SHAFTS TYPICAL.
11. REMOVE COOLING TOWER AND PIPING. PREP FOR REPLACEMENT - PER MECHANICAL.
12. REMOVE PLUMBING FIXTURES AND CAP WATER/WASTE LINES - PER PLUMBING.
13. REMOVE STEEL JAIL BARS, WALLS, CEILINGS, BEDS AND OTHER MATERIALS IN AREAS OF DEMOLITION. PROVIDE LEAD PAINT ABATEMENT PROCEDURES WHERE REQUIRED.
14. REMOVE DOORS, WINDOWS AND OTHER MATERIALS IN AREAS OF DEMOLITION. PROVIDE LEAD/ASBESTOS ABATEMENT WHERE REQUIRED.
15. REMOVE AND PREP FOR REPLACEMENT EXISTING 3RD FLOOR ROOF ASSEMBLY TO CONCRETE STRUCTURE. ALL ROOFING ACCESSORIES SHALL BE REMOVED/REPLACED.
16. REMOVE AND PREP FOR REPLACEMENT OF STEEL PARAPET BRACES WHERE ATTACHED TO JAIL WALLS. REFER TO STRUCTURAL DOCUMENTS FOR REPLACEMENT DETAILS.
17. RELOCATE CLASS 2 STANDPIPE-BY FIRE SPRINKLER SUB. RUN NEW PIPING UNDER NEW ROOF INSULATION, SEE SHEET A2.1.
18. PROVIDE TEMPORARY SUPPORT FOR ELECTRICAL PANELS AND CONDUITS DURING REMOVAL OF WALLS AND COLUMNS.
19. RETAIN ROOF STRUCTURES ABOVE IN THIS AREA. ALL OTHER ROOFS AND BEAMS TO BE REMOVED.
20. 4" ROOF DRAIN IN SUMP.
21. RETAIN WATER HEATER VENT DURING DEMOLITION.
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GENERAL NOTES:
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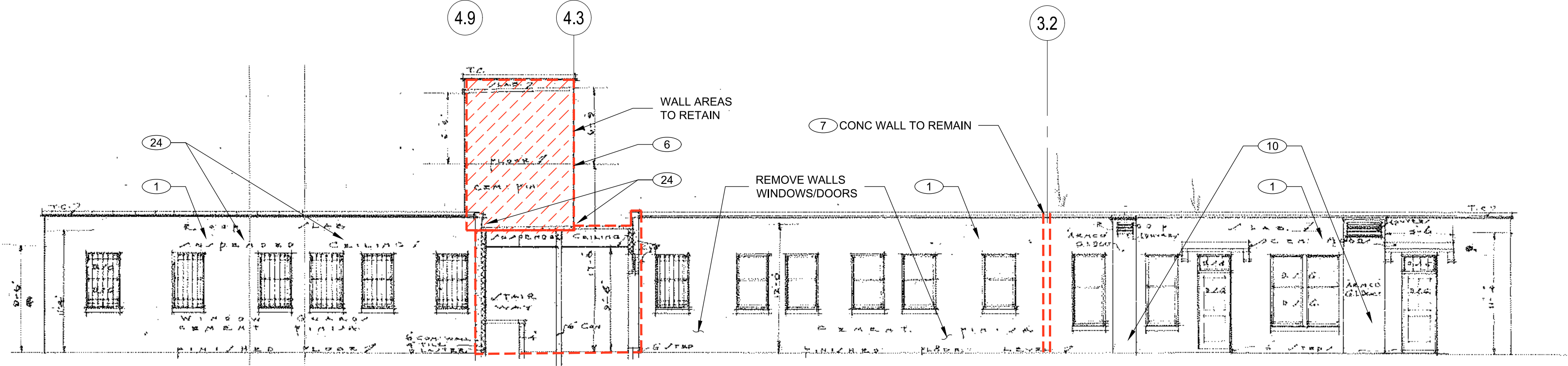
- EXISTING SIZES OF BUILDING.
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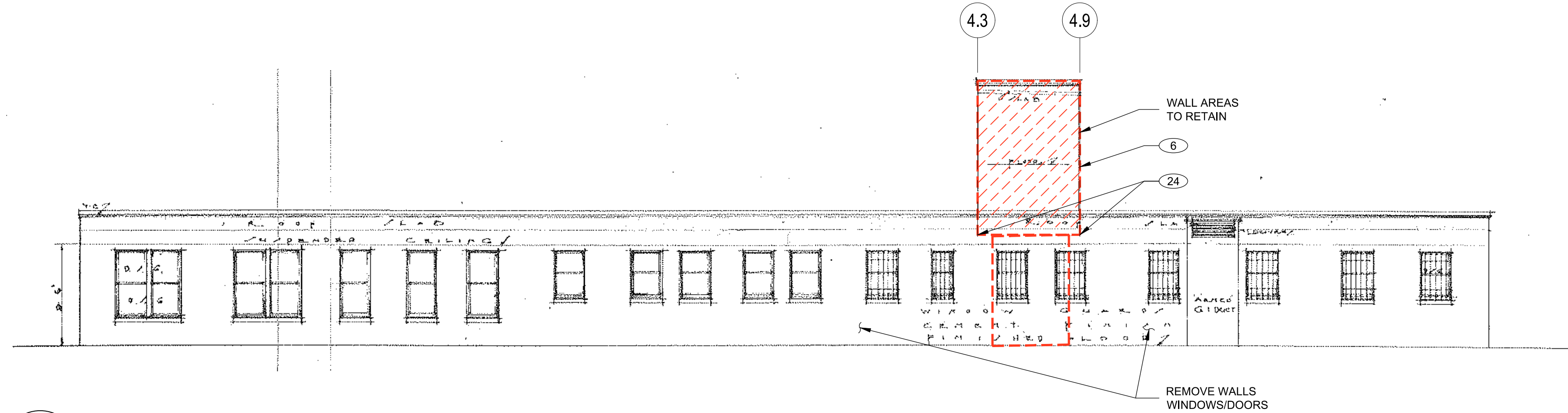
1 EXISTING EAST ELEVATION AT LEVEL 4
D3.1 SCALE: 1/8" = 1'-0". DO NOT SCALE!



2 EXISTING WEST ELEVATION AT LEVEL 4
D3.1 SCALE: 1/8" = 1'-0". DO NOT SCALE!



3 EXISTING NORTH ELEVATION AT LEVEL 4
D3.1 SCALE: 1/8" = 1'-0". DO NOT SCALE!



4 EXISTING SOUTH ELEVATION AT LEVEL 4
D3.1 SCALE: 1/8" = 1'-0". DO NOT SCALE!



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206-443-6499



ABB Project
22-7763.01
Skagit County Facilities
Project # 3809

PROJECT NAME:
Skagit County Superior Court
Rooftop Jailhouse Removal
OWNER NAME / ADDRESS:
Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273
PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273
PROPERTY MANAGER:
Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen

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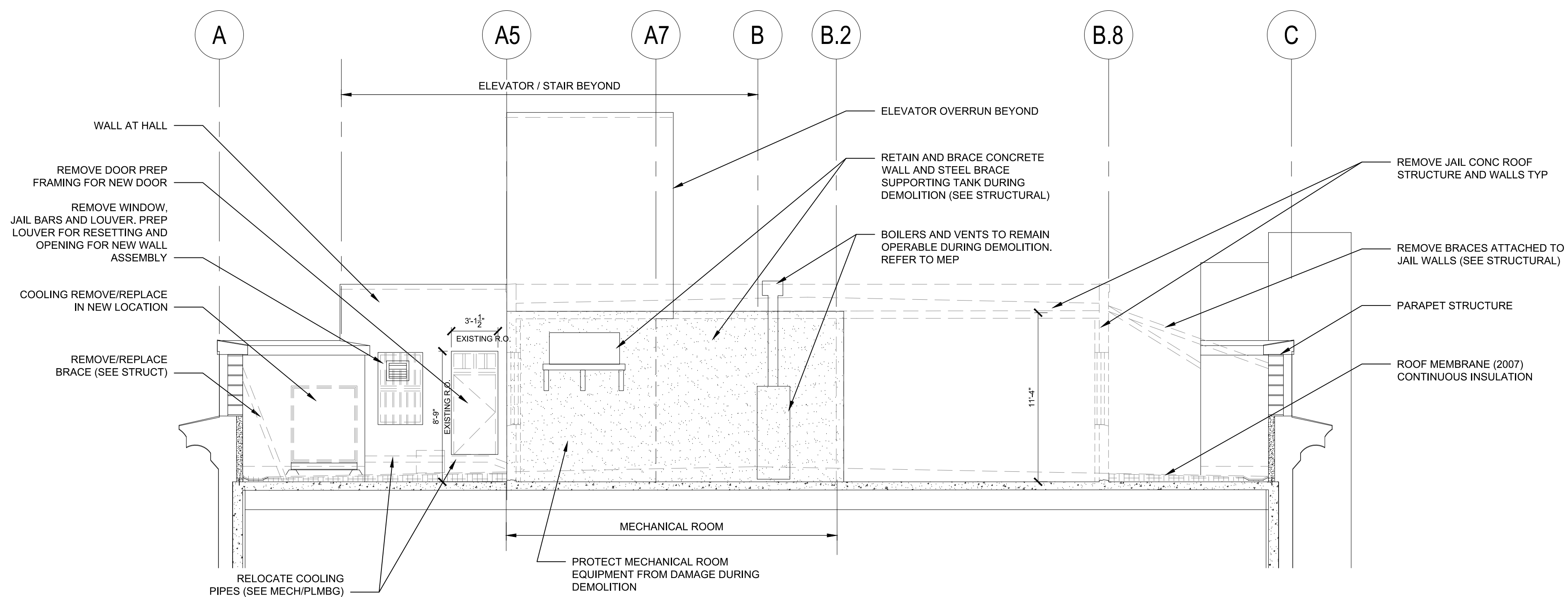
CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE
DEMOLITION
4TH FLOOR
JAIL
ELEVATIONS

SCALE: NOTED ON DRAWINGS

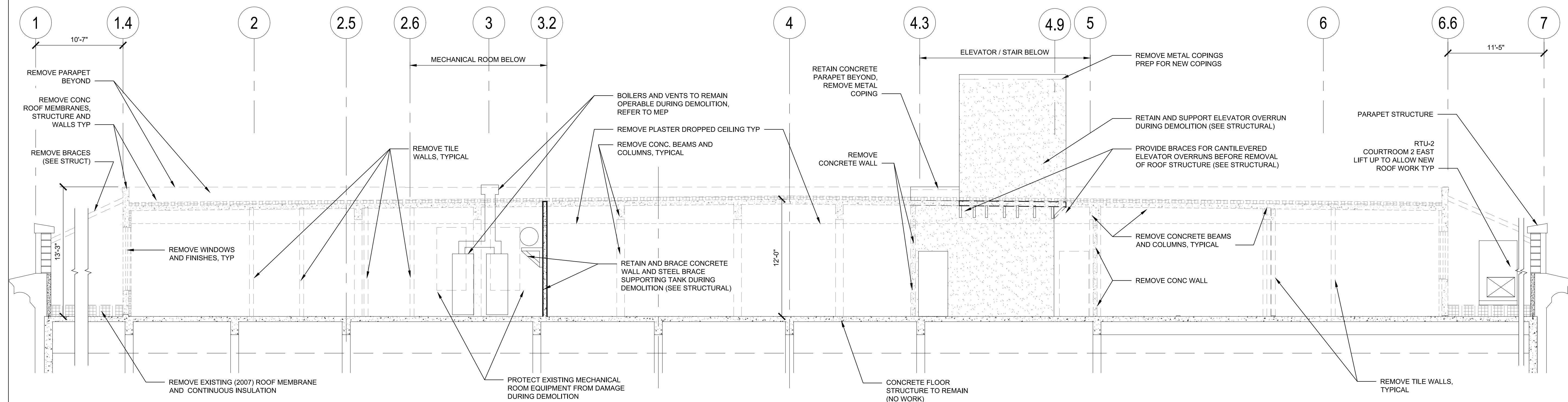
D3.1

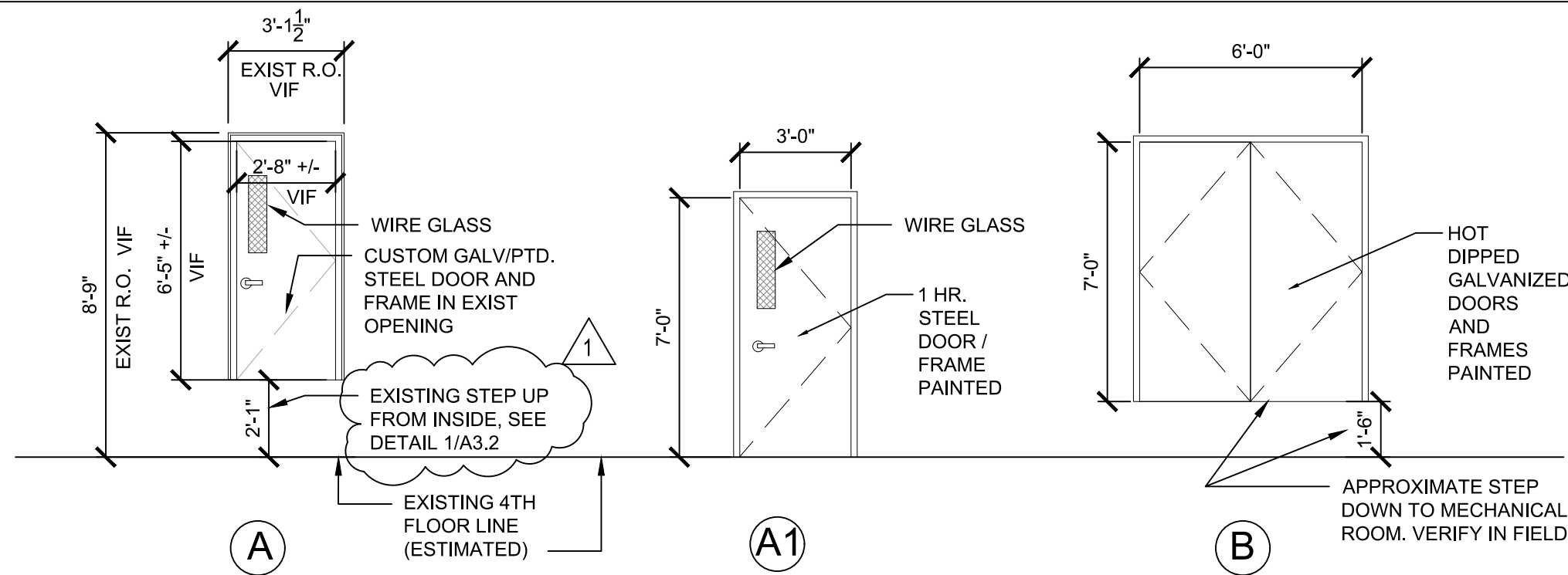
SHEET



1 DEMOLITION CROSS SECTION

D4 1 SCALE: 3/16" = 1'-0". DO NOT SCALE!





SKAGIT COUNTY ROOF TOP DOOR SCHEDULE

Door #	TYPE	LOCATION	LEAF SIZE	FIRE LABEL	DOOR MAT'L	FINISH	GLAZ FRAME MAT'L	FINISH	HW GROUP	NOTES
401	A	Stair/Hall to Roof	2'10"x7'0" +/-		GALV HM	PTD	CWG	GALV HM	PTD	1,2,3,4,5,7,8,9, 10
402	A1	Elev Lobby to Hall	3'0"x7'0"	60 MIN	HM	PTD	CWG	HM	PTD	1,2,3,4,5,6,7,9,11
403	B	Mechanical Room to Roof	2-3'0"x7'0"	60 MIN	GALV HM	PTD		GALV HM	PTD	1,2,3,4,5,8,9,12

NOTES KEY:

#	NOTES KEY	HARDWARE SPECIFICATIONS
1	CLOSER	Best HD 7000
2	THRESHOLD	Per Door Manufacturer
3	FULL WEATHER STRIP / SMOKE SEAL	Per Door Manufacturer
4	DOOR SWEEP	Per Door Manufacturer
5	VERIFY DOOR SIZE TO FIT MODIFIED EXISTING OPENING (assume custom size door and frame)	
6	AT ELEVATOR LOBBY TO HALL PROVIDE SECURITY ALARM (if requested by Owner)	
7	COMMERCIAL HINGES	Per Door Manufacturer, Provide Stainless Steel at Exterior Doors
8	PROVIDE KNOX BOX FIRE KEY ACCESS	
9	HARDWARE GROUP BY SUBMITTAL	PROVIDE HARDWARE BY APPROVED SUBMITTAL
10	LOCK SET-ALLOW EGRESS FROM ROOF TO STAIR HALL	Best 7KC, Keying: 7 Pin SFIC, Storeroom D (reversed), 616 satin chrome finish
11	LOCK SET-ALLOW EGRESS FROM ELEVATOR LOBBY TO HALL	Best 7KC, Keying: 7 Pin SFIC, Storeroom D (reversed), 616 satin chrome finish
12	LOCK SET-ALLOW EGRESS FROM MECHANICAL ROOM TO ROOF	Best 7KC, Keying: 7 Pin SFIC, Storeroom D (reversed), 616 satin chrome finish

ABBREVIATIONS:

ALUM	ALUMINUM
CWG	CLEAR WIRE GLASS
GALV	HOT DIP GALVANIZED
HM	HOLLOW METAL
MTL	METAL
PRF	PREFINISHED
PTD	PAINTED
SFIC	SMALL FORMAT INTERCHANGEABLE CORE
SG	SAFETY GLASS
TBD	TO BE DETERMINED

GENERAL NOTES:

- CONTRACTOR SHALL CONFIRM FOLLOWING:
- EXISTING SIZES OF BUILDING.
 - FIELD MEASURE AND QUANTITIES OF ALL ITEMS SCHEDULED FOR REPLACEMENT.

GENERAL REMARKS:

- MAXIMUM THRESHOLD TO BE 1/2" AT BARRIER FREE UNITS AND PUBLIC SPACES.
- HARDWARE GROUPS SHALL BE PROVIDED BY GC DURING SUBMITTAL PROCESS.
- ALL REQUIRED FIRE DOORS SHALL BEAR LABEL FROM RECOGNIZED AGENCY.
- TRANSMITTED TEMPERATURE END POINT TO BE 450 DEGREES FOR FIRE DOORS PER LATEST IBC 1009.
- FIRE DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING.
- PROVIDE SMOKE GASKETING FOR ALL EXIT DOORS.
- GLAZING SHALL MEET REQUIREMENTS OF IBC SECTION 713.9.
- OPAQUE DOORS SHALL MEET WSEC TABLE 6-1 (U=0.20).
- PROVIDE DOOR STOPS AND BARRIER FREE HARDWARE AT ALL DOORS.

2 DOOR TYPES

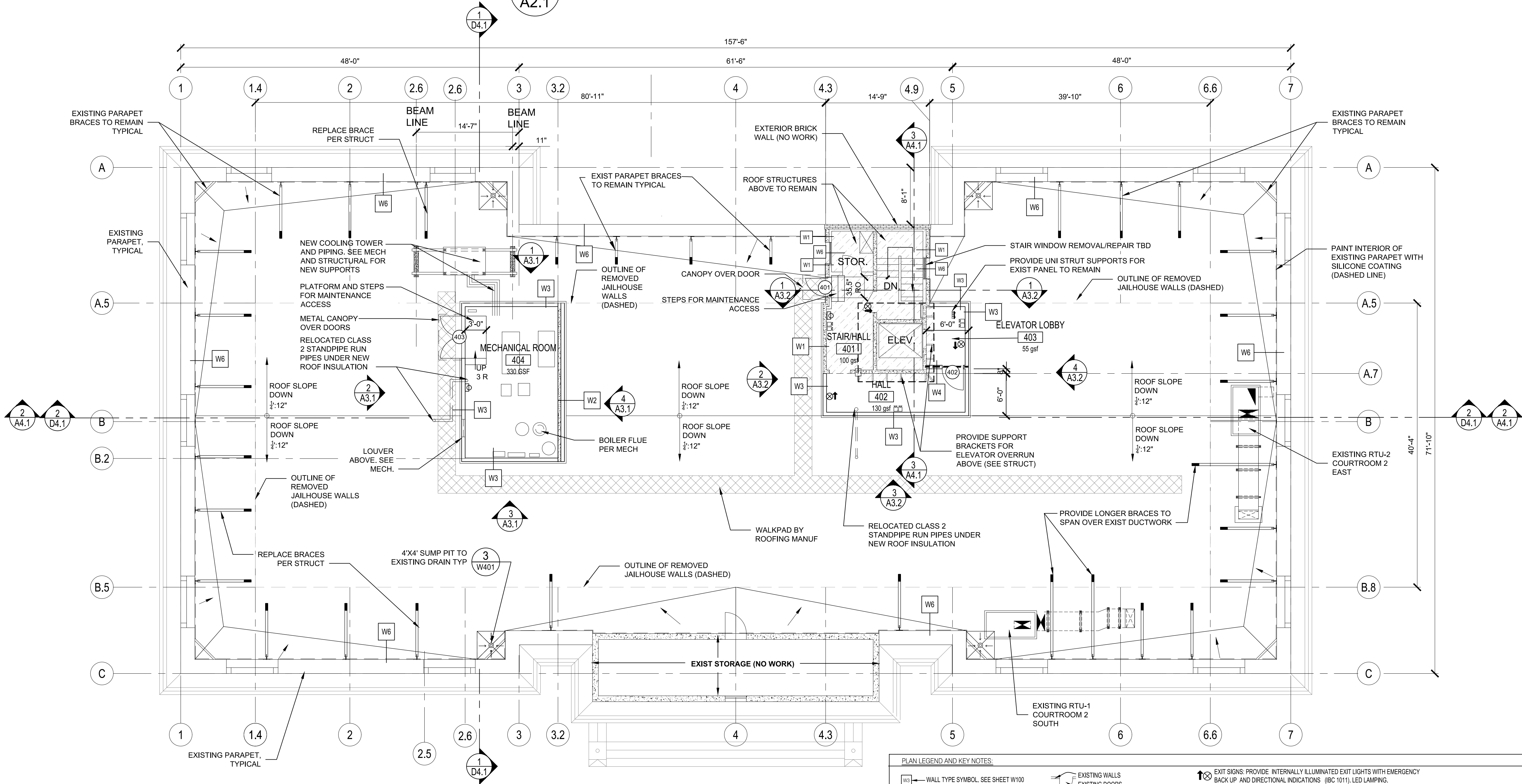
A2.1

NO SCALE

3 DOOR SCHEDULE AND SPECIFICATION

A2.1

NO SCALE



1

FOURTH FLOOR AND ROOF PLAN

SCALE: 1/8" = 1'-0". DO NOT SCALE

PLAN LEGEND AND KEY NOTES:

W3	WALL TYPE SYMBOL. SEE SHEET W100	EXISTING WALLS	EXISTING WALLS
	NEW WALLS OR INFILL WALLS IN EXISTING WALLS. SEE WALL TYPES ON SHEET W100.	EXISTING DOORS	EXISTING DOORS
	NEW 1 HOUR FIRE PARTITION WALLS (W4) WITH 1 HOUR DOORS	NEW WALLS (WALL TYPES ON W100)	NEW WALLS (WALL TYPES ON W100)
		NEW DOORS (SCHEDULE ON A2.1)	NEW DOORS (SCHEDULE ON A2.1)
3 A3.2	ELEVATION VIEW	2 A4.1	BUILDING SECTION
		1 W401	ENLARGED DETAIL CALL OUT
			EXIT SIGNS: PROVIDE INTERNALLY ILLUMINATED EXIT LIGHTS WITH EMERGENCY BACK-UP AND DIRECTIONAL INDICATIONS (IBC 1011) LED LAMPING.
			EMERGENCY LIGHTING WITH AUDIBLE ALARM: PROVIDE EMERGENCY PATHWAY ILLUMINATION WITH EMERGENCY POWER SUPPLY BACK-UP FOR 90 MINUTES. PROVIDE AT HALLS, EXTERIOR LANDINGS AND ELSEWHERE AS REQUIRED BY CODE AND LOCAL JURISDICTIONS. PROVIDE 1 FOOT CANDLE AT THE WALKING SURFACE. (IBC 1008.2.1)
			CLASS 2A FIRE EXTINGUISHER IN FIRE EXTINGUISHER CABINET (FEC)



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Plasma Comfort

ABB Project

22-7763.01

Skagit County Facilities

Project # 3809

PROJECT NAME:
Skagit County Superior Court
Roof/Jailhouse Removal

OWNER NAME / ADDRESS:
Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273

PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273

PROPERTY MANAGER:
Skagit County Facilities
Management
1800 Continental Place
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Contact: Ken Hansen

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CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE

4TH FLOOR
AND ROOF
PLAN DOOR
SCHEDULE

SCALE: NOTED ON DRAWINGS

A2.1

SHEET

- 
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PETER THOMAS LAMBERT
STATE OF WASHINGTON
46585
REGISTERED
PROFESSIONAL ENGINEER

Peter Lambert

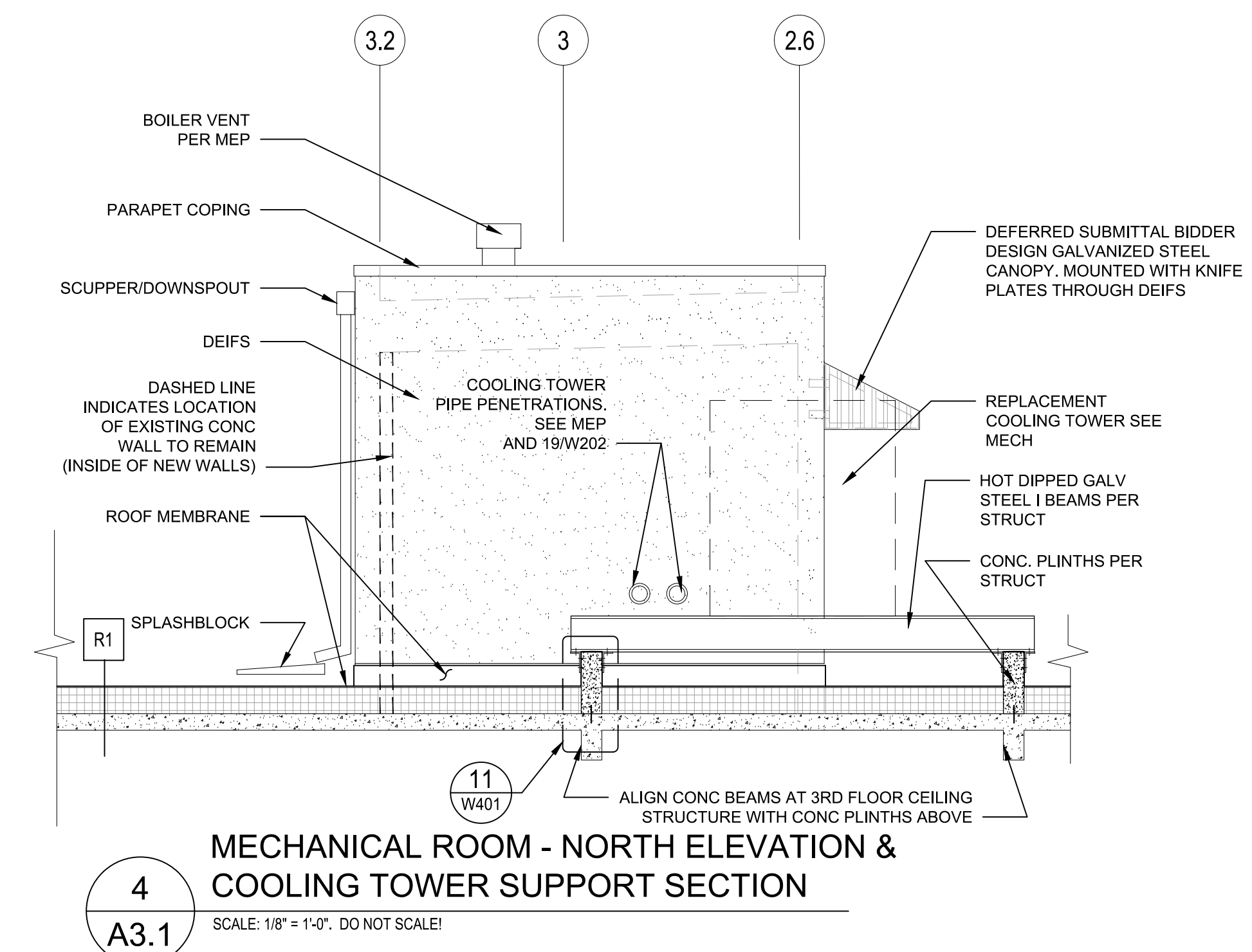
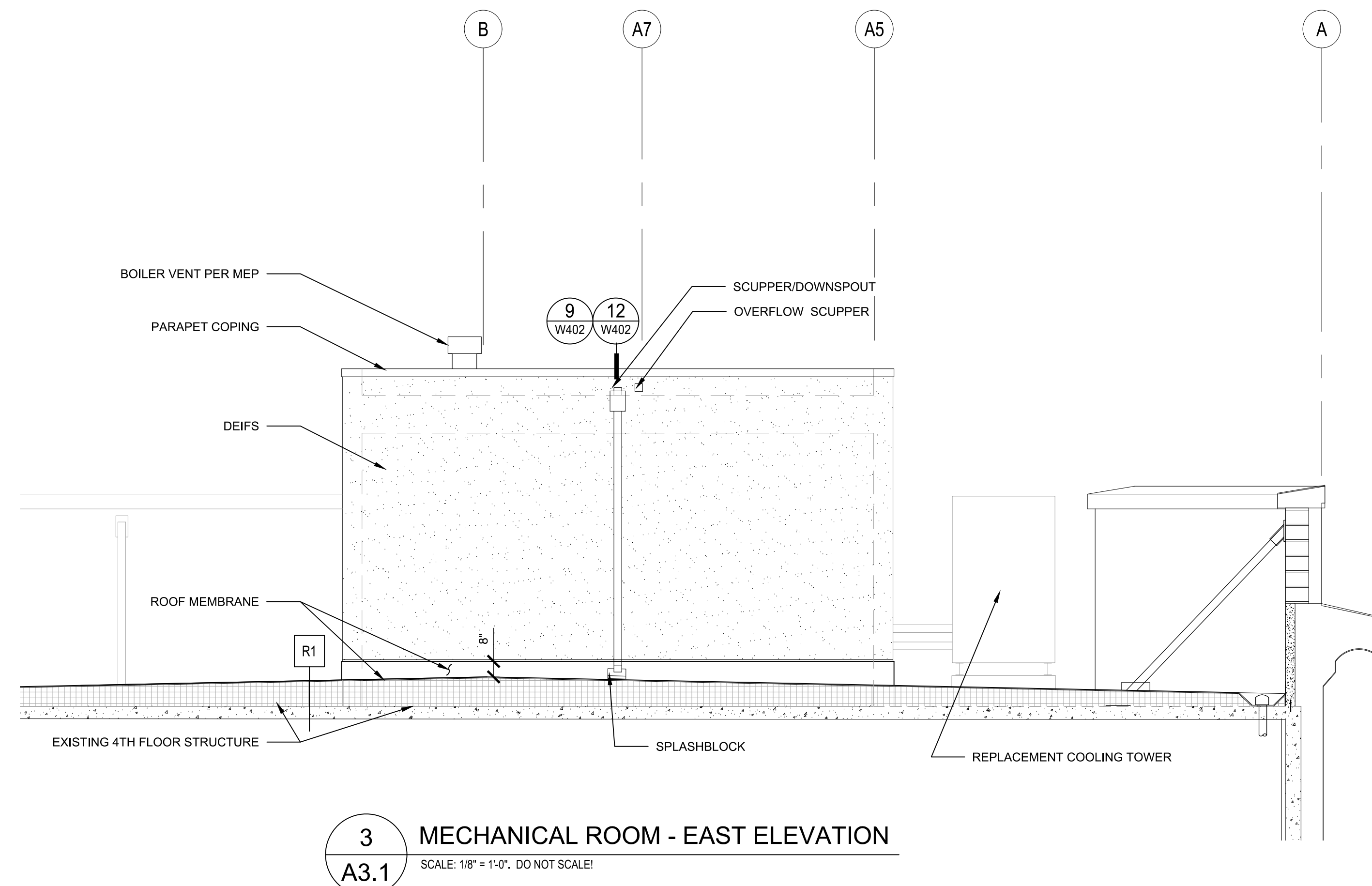
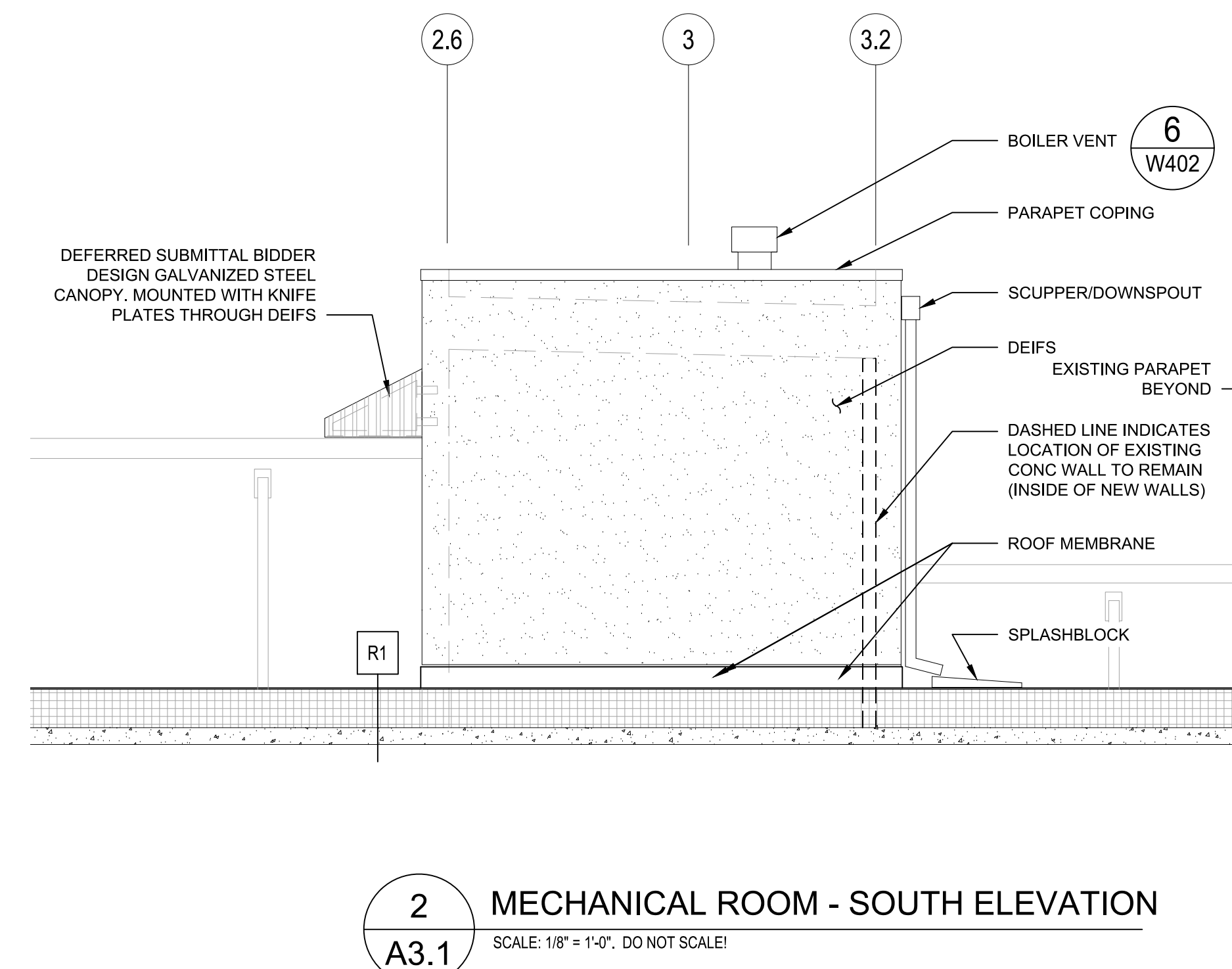
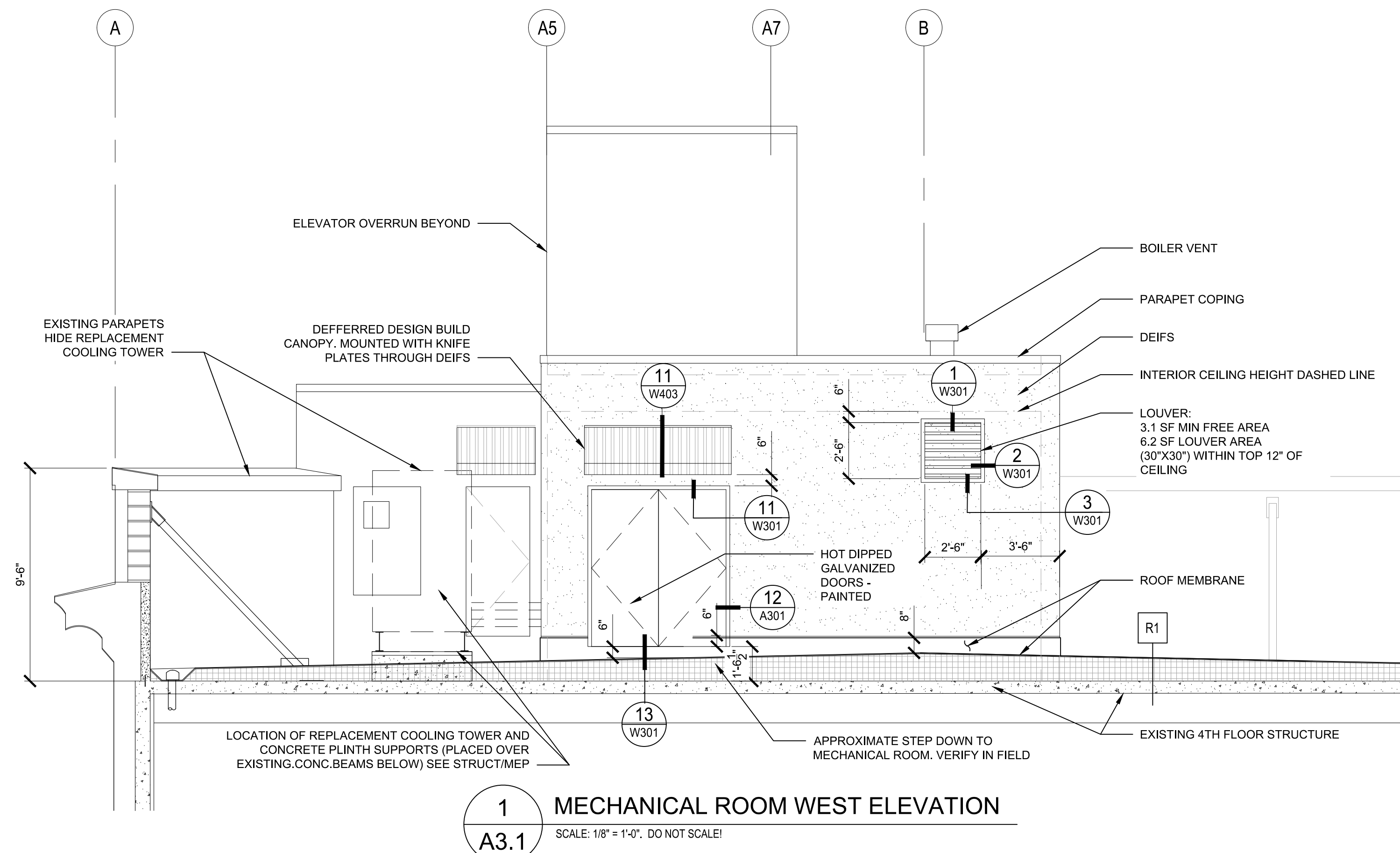
PROJECT NAME:
Kagit County Superior Court
Rooftop Jailhouse Removal
OWNER NAME / ADDRESS:
Kagit County,
Municipal Corporation
800 Continental Place
Mount Vernon, WA 98273
PROPERTY ADDRESS:
105 W. Kincaid Street
Mount Vernon, WA 98273
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Architectural drawing of a roof plan, showing various structural elements, annotations, and dimensions. The drawing includes a grid system with horizontal lines labeled 1 through 7 and vertical lines labeled A through C. Key features and annotations include:

- Annotations:**
 - "PROVIDE NEW VENT EXTENSION AND CAP TO MATCH EXISTING, SEE MECH"
 - "BIDDER DESIGN GALV METAL CANOPY BELOW"
 - "PROVIDE NEW BOILER FLUE TO MATCH EXISTING SERVING BOILERS BELOW (SEE MEP)"
 - "EXISTING CONCRETE ROOF STRUCTURES TO REMAIN (SHADED AREAS)"
 - "SCUPPER/OVERFLOW TO DOWNSPOUT WITH SPLASH BLOCK BELOW TYP"
 - "CFS ROOF STRUCTURE"
 - "RAISE EXISTING PARAPETS OVER STAIRHALL AND ELEVATOR OVERRUN TO ALLOW FOR NEW C.I. INSULATION AND SLOPE TO DRAIN TYP"
 - "SCUPPER/OVERFLOW TO DOWNSPOUT WITH SPLASH BLOCK BELOW TYP"
 - "ELEVATOR OVERRUN ROOF ABOVE WITH STEEL BRACES SUPPORTING CANTILEVER BELOW, SEE STRUCT."
 - "NO WORK"
- Dimensions and Notes:**
 - "ROOF SLOPE 1/4":12"
 - "NO WORK"
- Grid System:**
 - Horizontal lines: 1, 1.4, 2, 2.6, 2.6, 3, 3.2, 4, 4.3, 4.9, 5, 6, 6.6, 7
 - Vertical lines: A, A.5, A.7, B, B.2, B.5, B.8, C
- Other Labels:**
 - "1 D4.1"
 - "3 A4.1"
 - "8A W403"
 - "1 A3.2"
 - "9 W402 12 W402 TYP"
 - "6 W402"
 - "8B W403"
 - "2 D4.1"
 - "2 A4.1"

SHEET



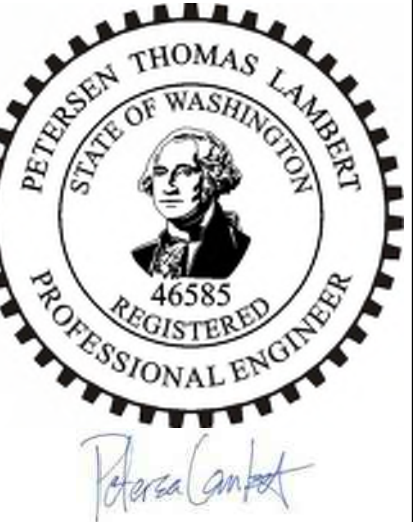
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PERMIT NUMBER
BLDG23-0137

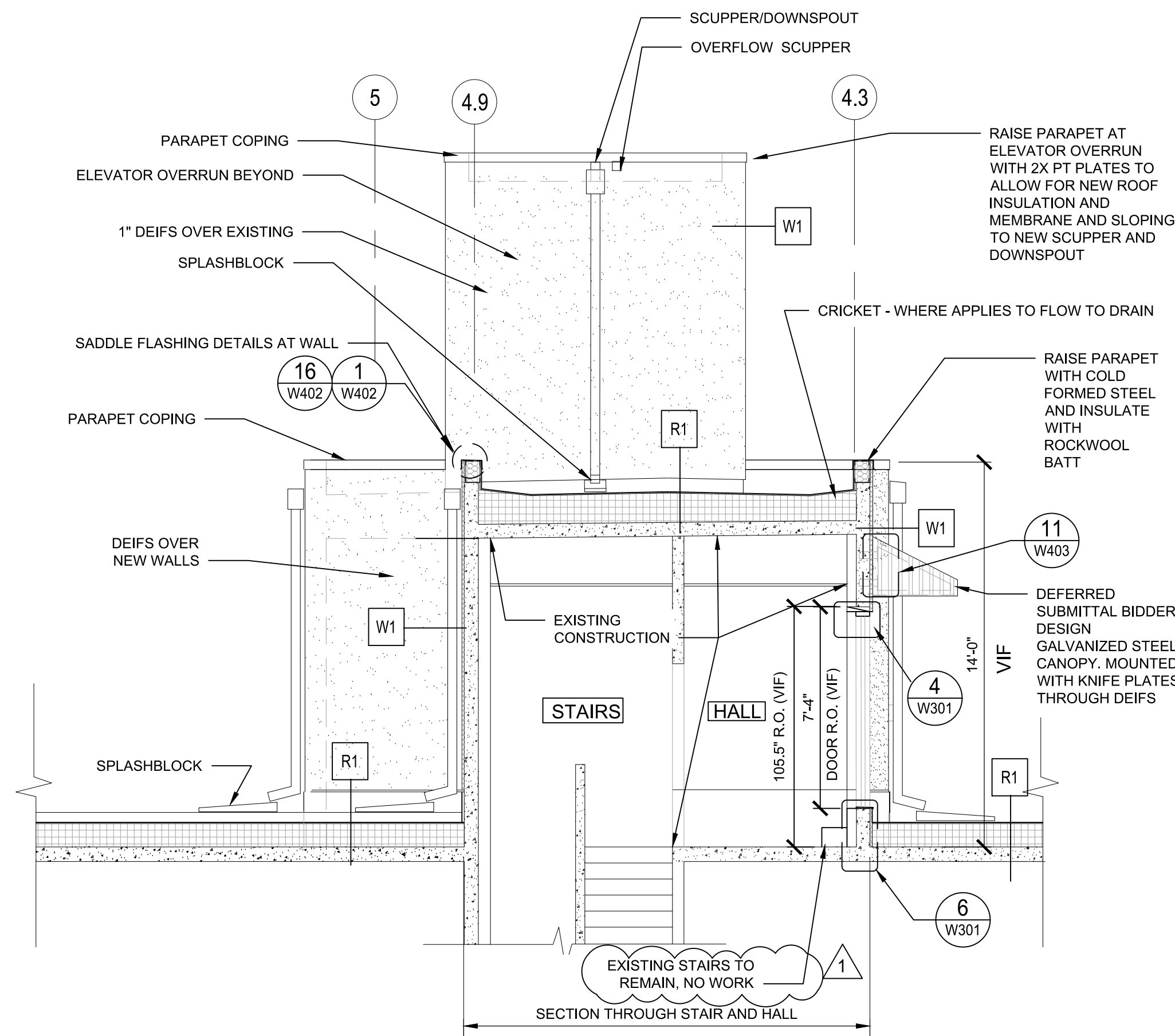
SHEET TITLE

MECHANICAL ROOM ELEVATIONS

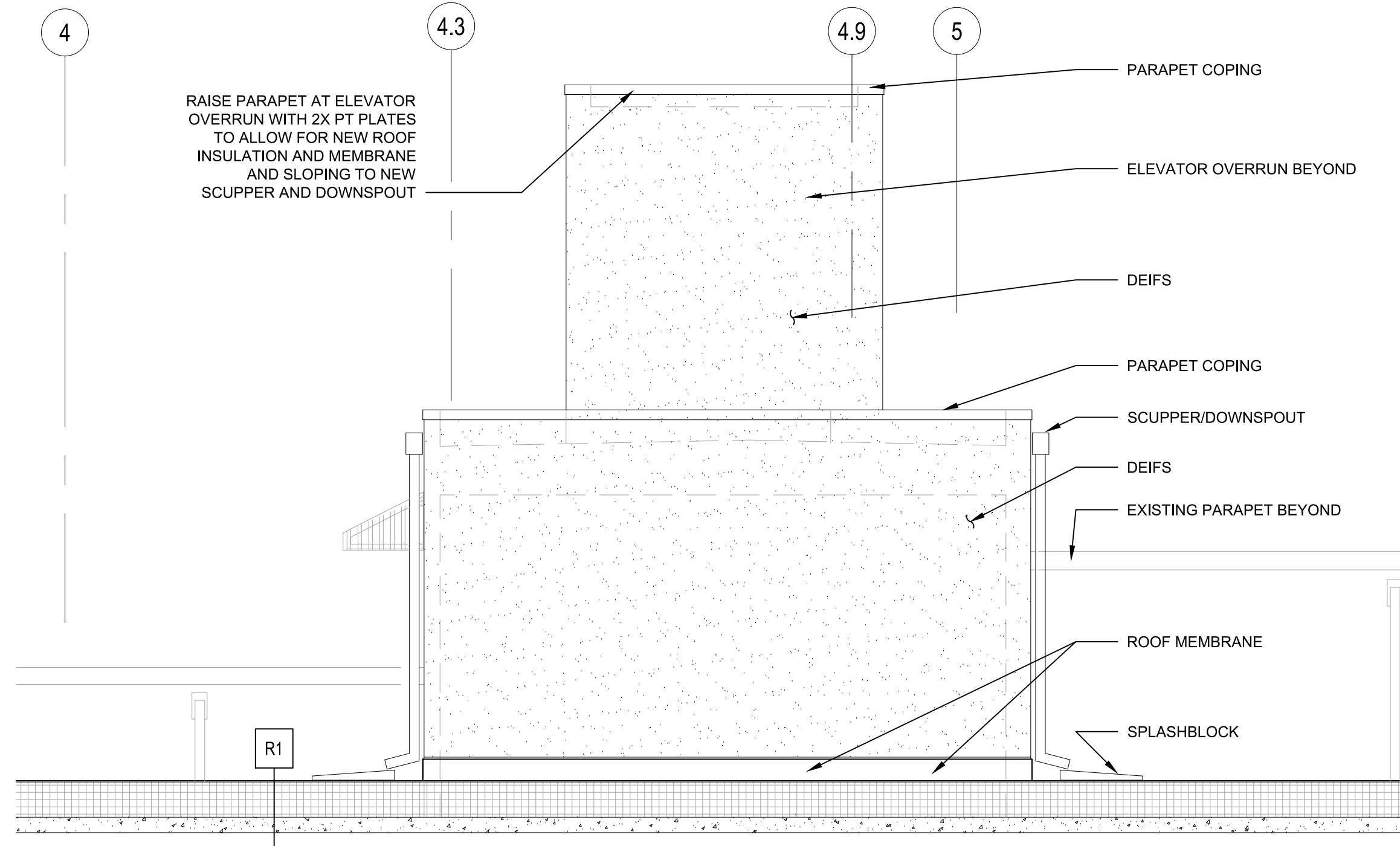
SCALE: NOTED ON DRAWINGS

A3.1

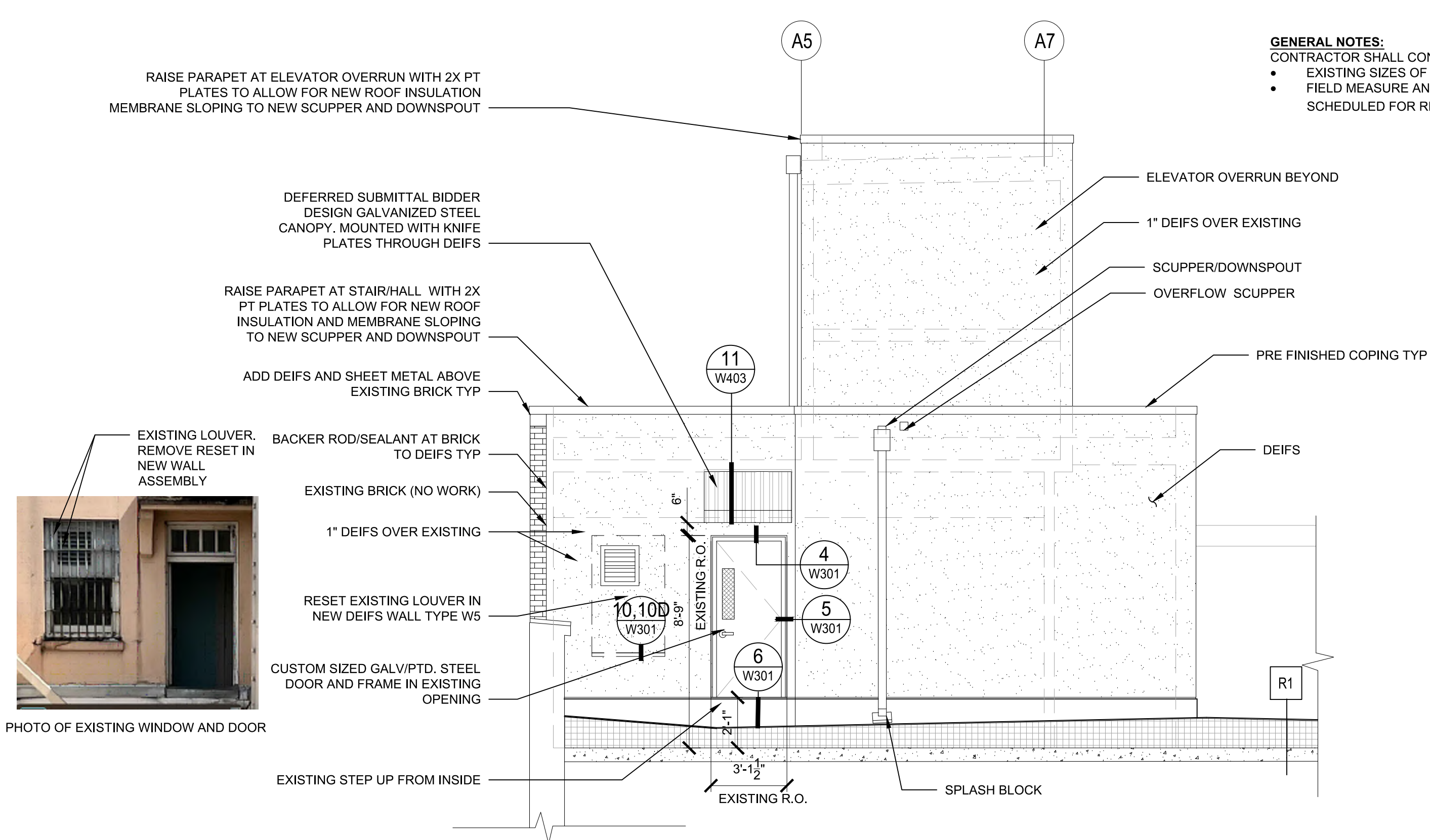
SHEET



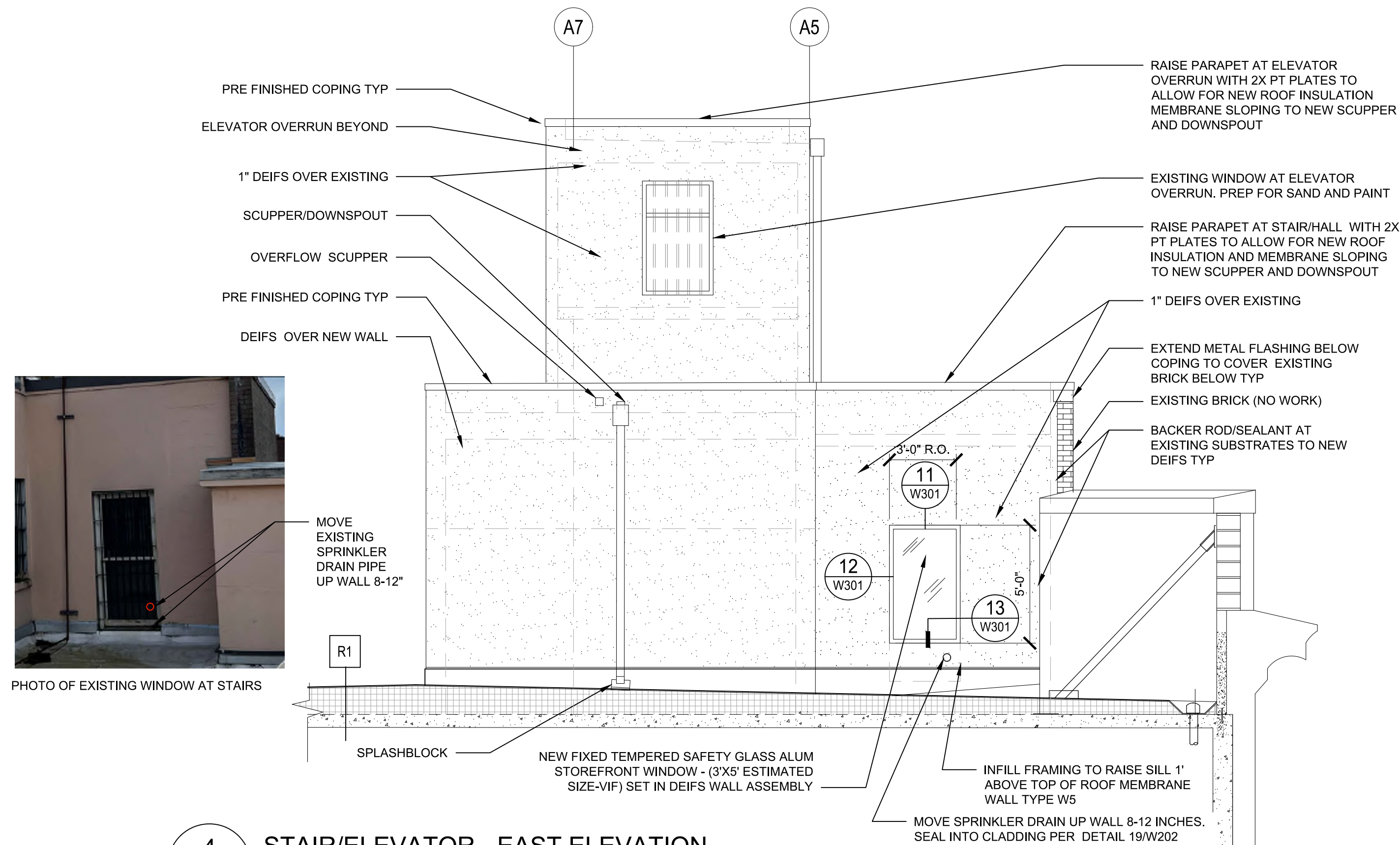
1 STAIR SECTION AND /ELEVATOR - NORTH ELEVATION
A3.2 SCALE: 1/4" = 1'-0". DO NOT SCALE!



3 STAIR/ELEVATOR TOWER - SOUTH ELEVATION
A3.2 SCALE: 1/8" = 1'-0". DO NOT SCALE!



2 STAIR/ELEVATOR - WEST ELEVATION
A3.2 SCALE: 1/4" = 1'-0". DO NOT SCALE!



4 STAIR/ELEVATOR - EAST ELEVATION
A3.2 SCALE: 1/4" = 1'-0". DO NOT SCALE!

GENERAL NOTES:
CONTRACTOR SHALL CONFIRM FOLLOWING:
• EXISTING SIZES OF BUILDING.
• FIELD MEASURE AND QUANTITIES OF ALL ITEMS SCHEDULED FOR REPLACEMENT.



300 Elliot Ave. West, Suite 250
Seattle, WA 98119
206-443-6499

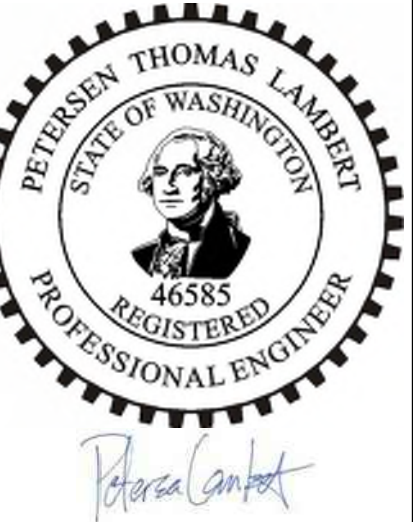


ABB Project
22-7763.01
Skagit County Facilities
Project # 3809
PROJECT NAME:
Skagit County Superior Court
Rooftop Jailhouse Removal
OWNER NAME / ADDRESS:
Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273
PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273
PROPERTY MANAGER:
Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen

Mark	Description	Date
	CONSTRUCTION PLANS (REVISED)	03/20/23
	BID SET ISSUE	04/24/23
1	PERMIT CORRECTION BID SET	06/21/23
	BID SET ISSUE	09/25/23

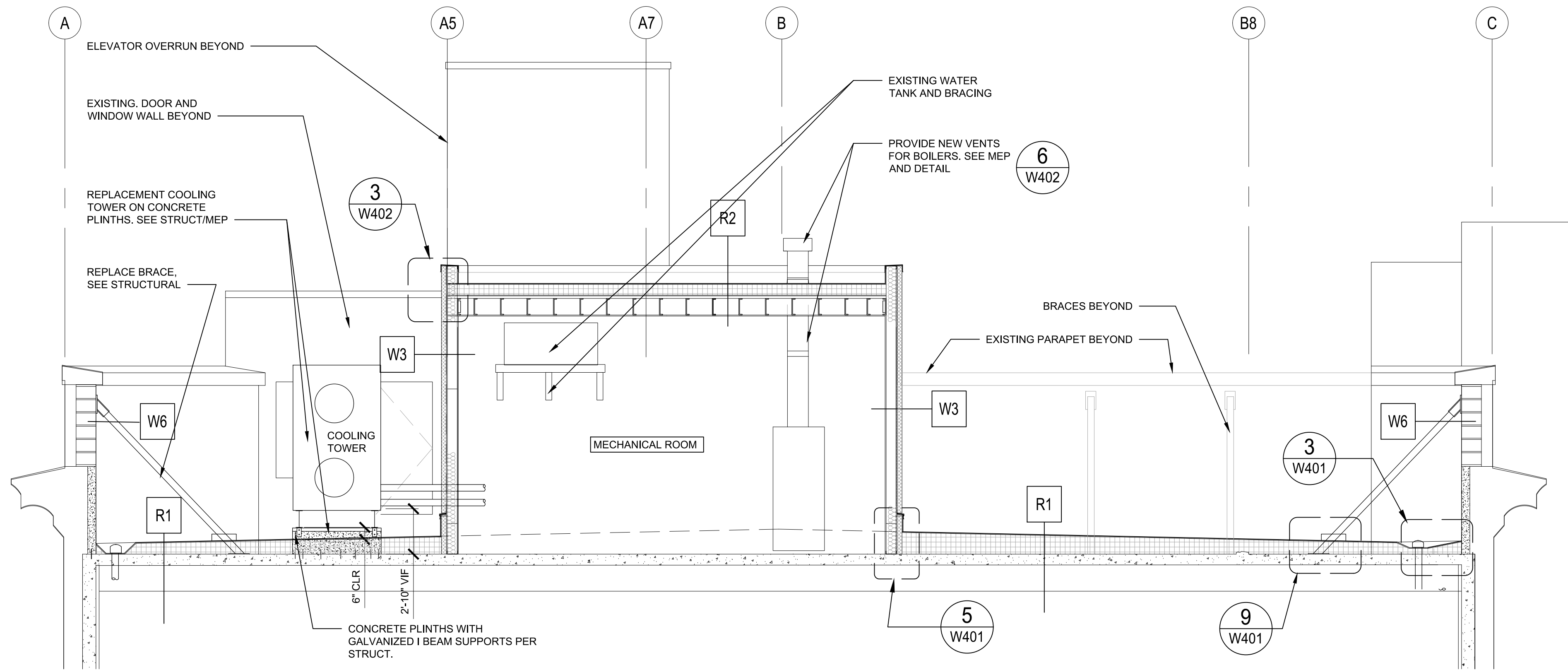
CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE
STAIR AND
ELEVATOR
TOWER
ELEVATIONS

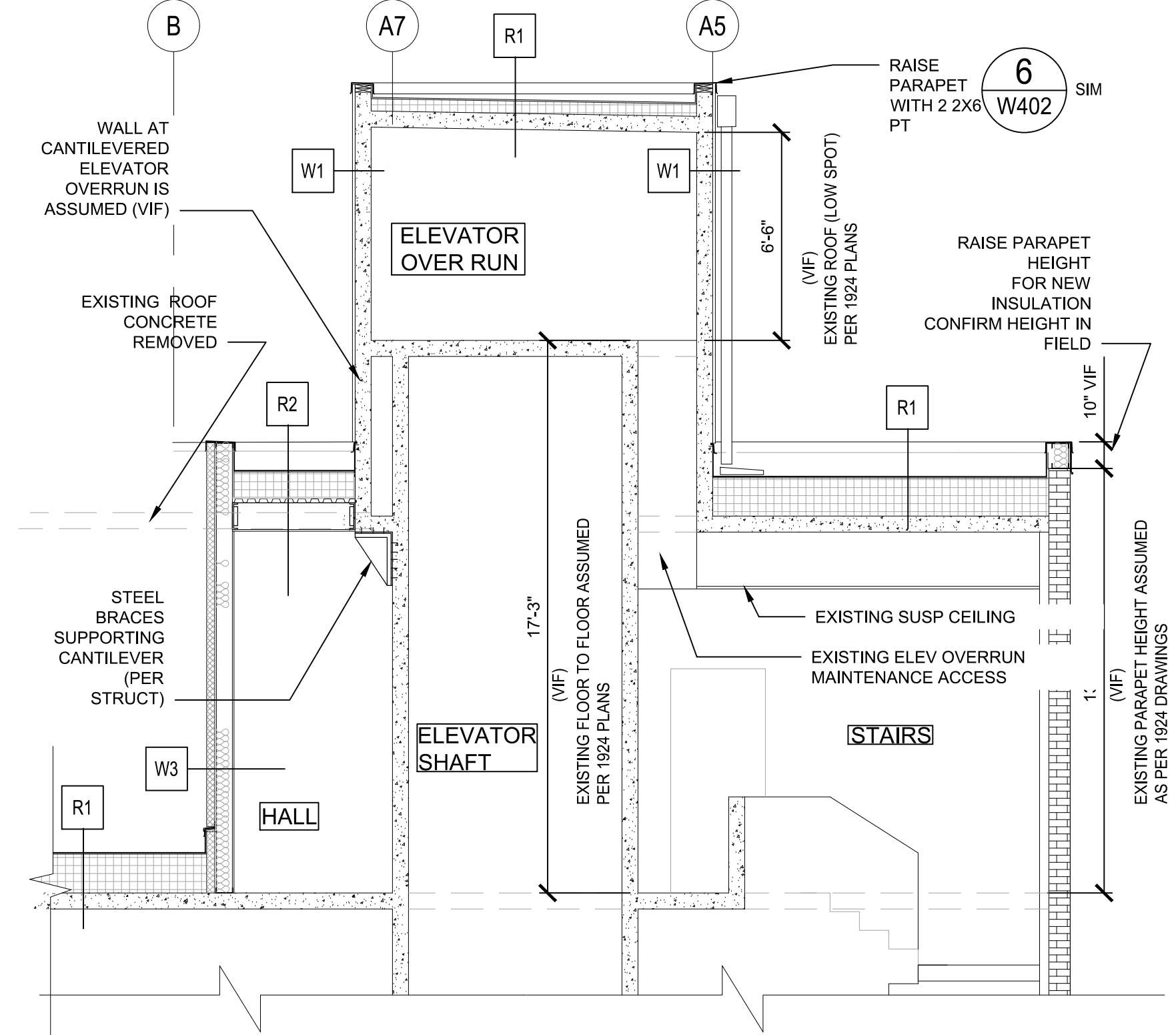
SCALE: NOTED ON DRAWINGS

A3.2

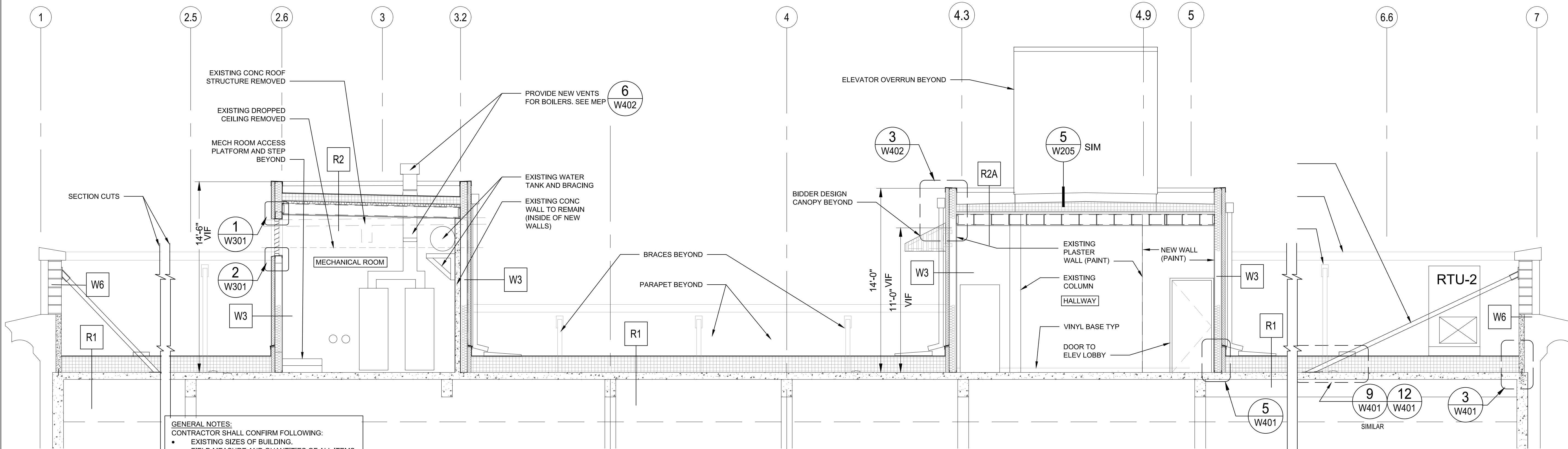
SHEET



1
A4.1 PROPOSED CROSS SECTION
SCALE: 1/4" = 1'-0". DO NOT SCALE!



3
A4.1 PROPOSED CROSS SECTION @ ELEVATOR SHAFT AND STAIRS
SCALE: 1/4" = 1'-0". DO NOT SCALE!



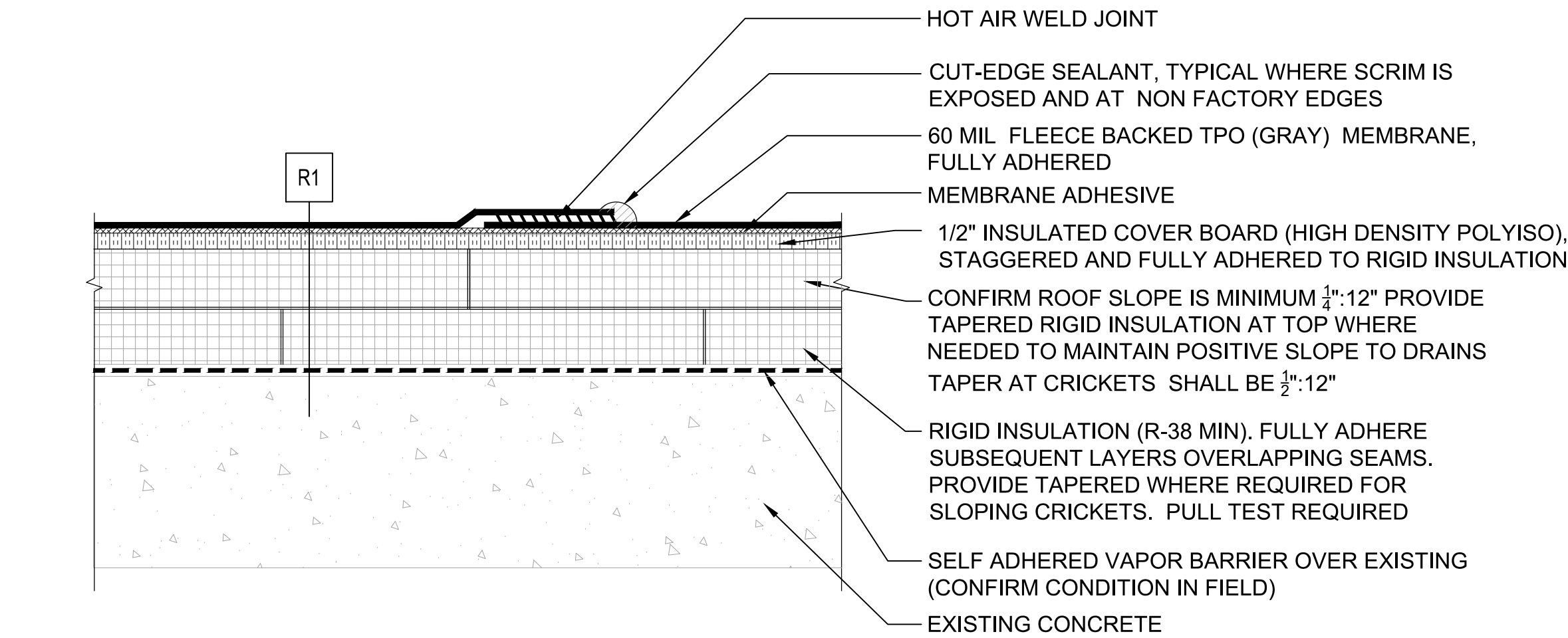
2
A4.1 PROPOSED LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0". DO NOT SCALE!

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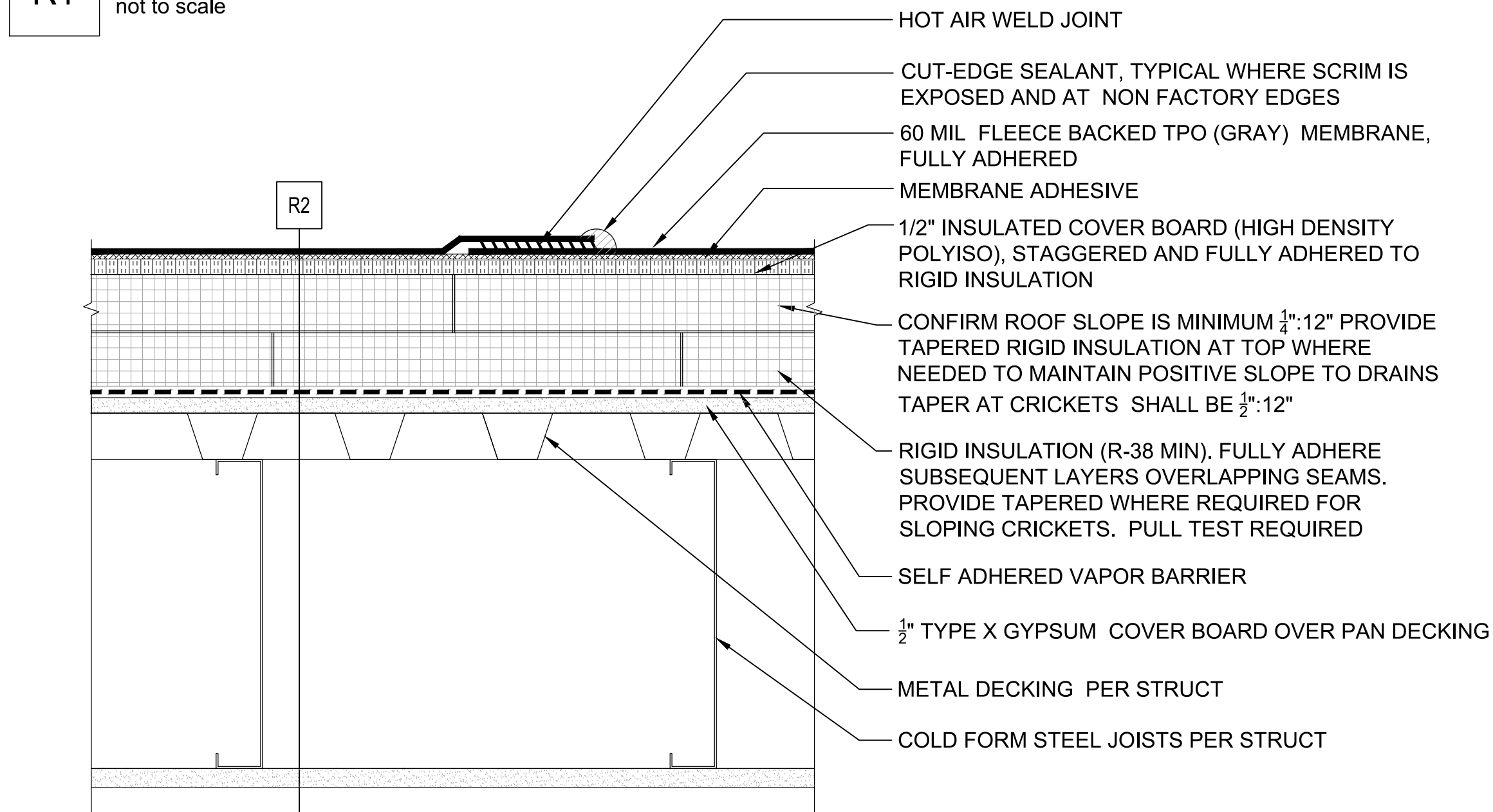
CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE
PROPOSED CROSS AND LONG SECTIONS
SCALE: NOTED ON DRAWINGS

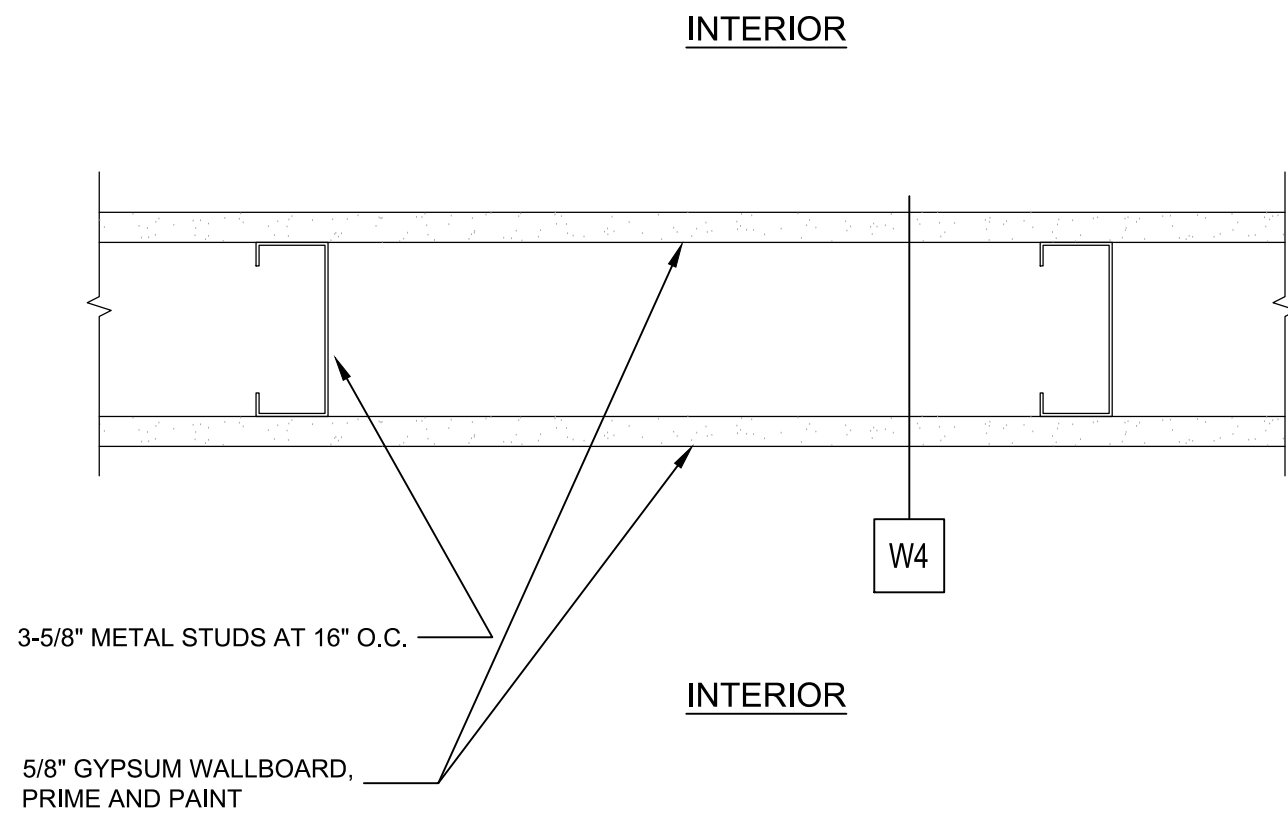
A4.1
SHEET



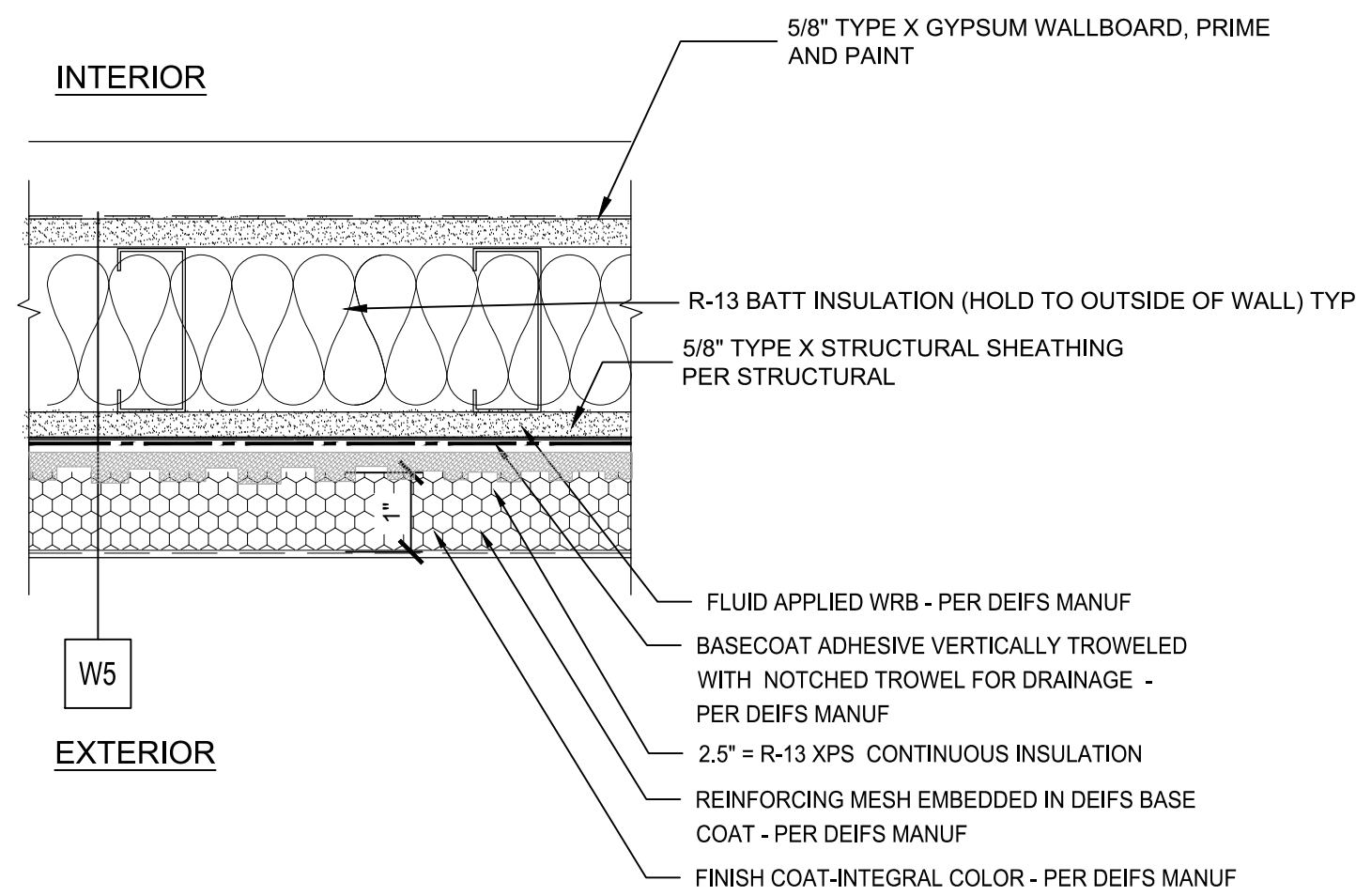
R1 LOW SLOPE SINGLE PLY ROOF TYPE AT EXISTING CONCRETE DECK
not to scale



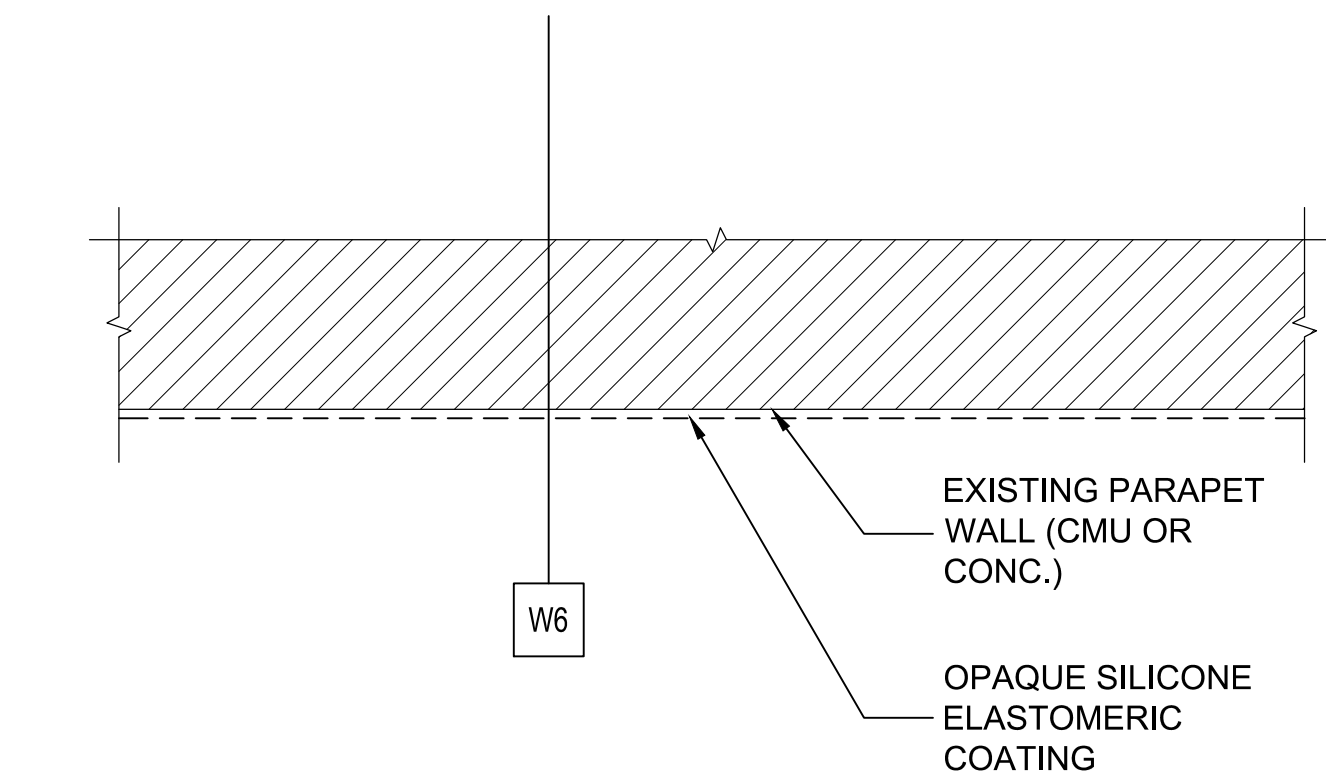
R2 LOW SLOPE SINGLE PLY ROOF TYPE AT METAL DECK
not to scale



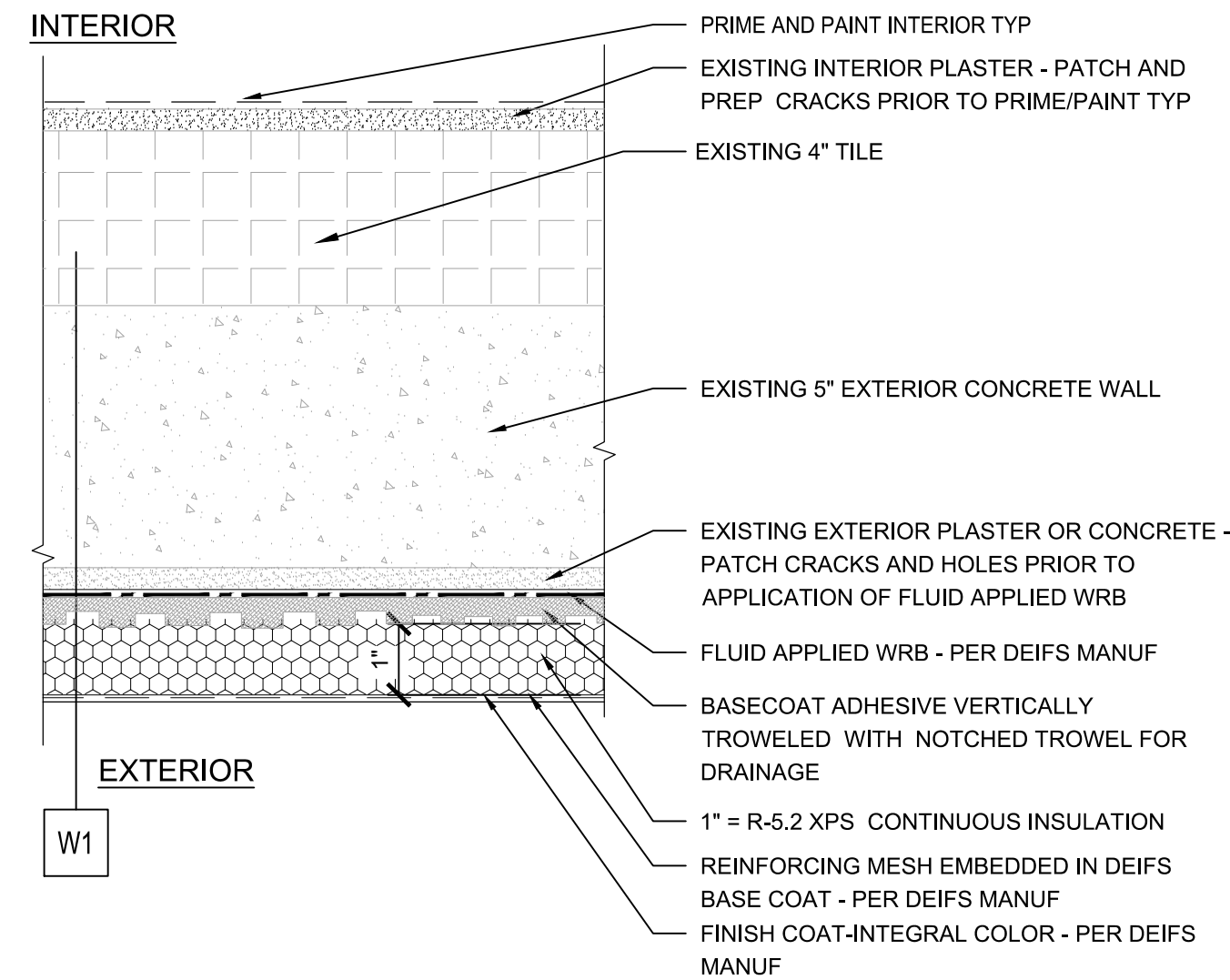
W4 INTERIOR WALL AT METAL FRAME
not to scale
1-HOUR FIRE RATING
ASSEMBLY: GA 1072



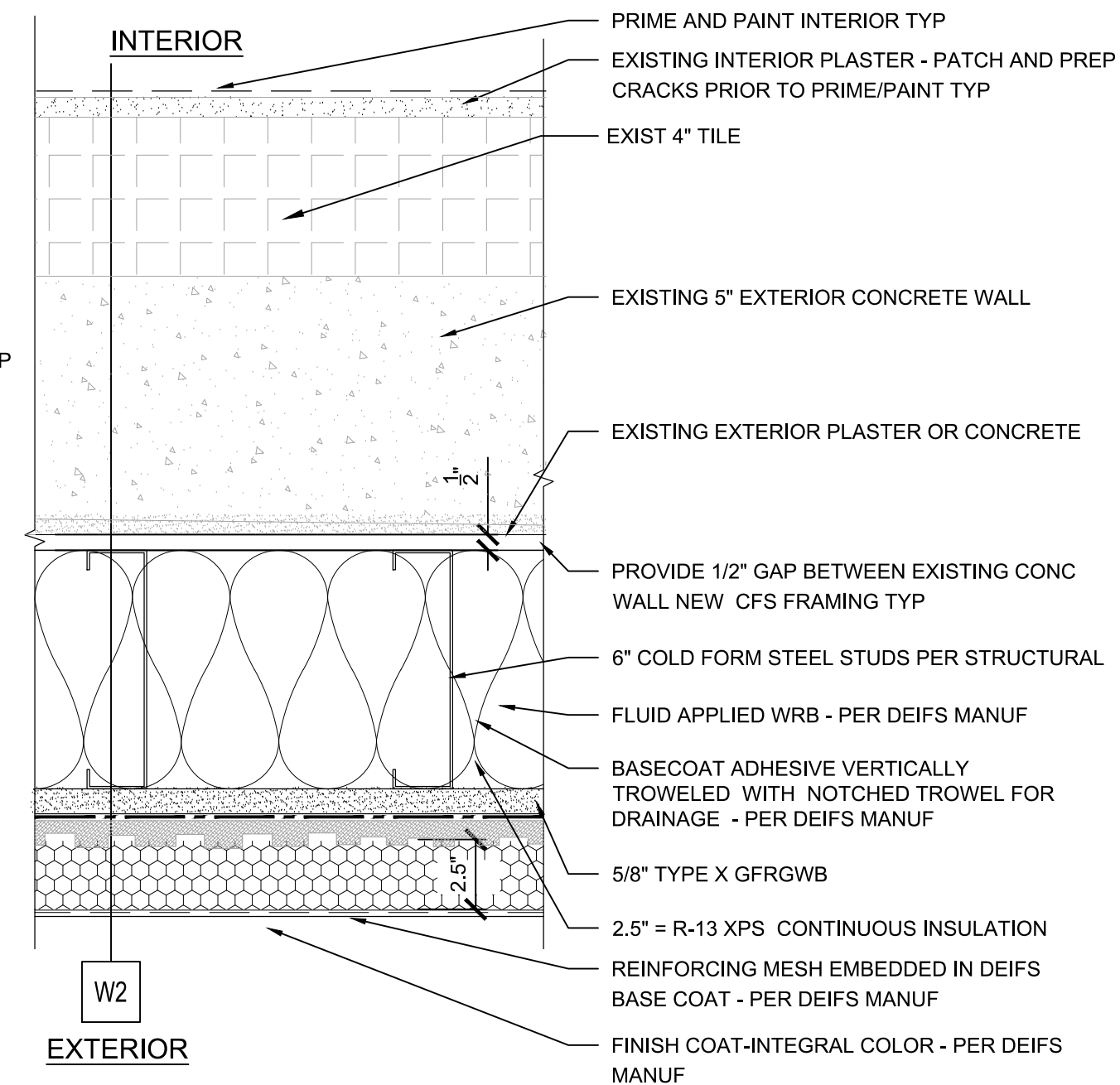
W5 DEIFS AT WINDOW INFILL
not to scale
1-HOUR FIRE RATING
ASSEMBLY: GA 1072



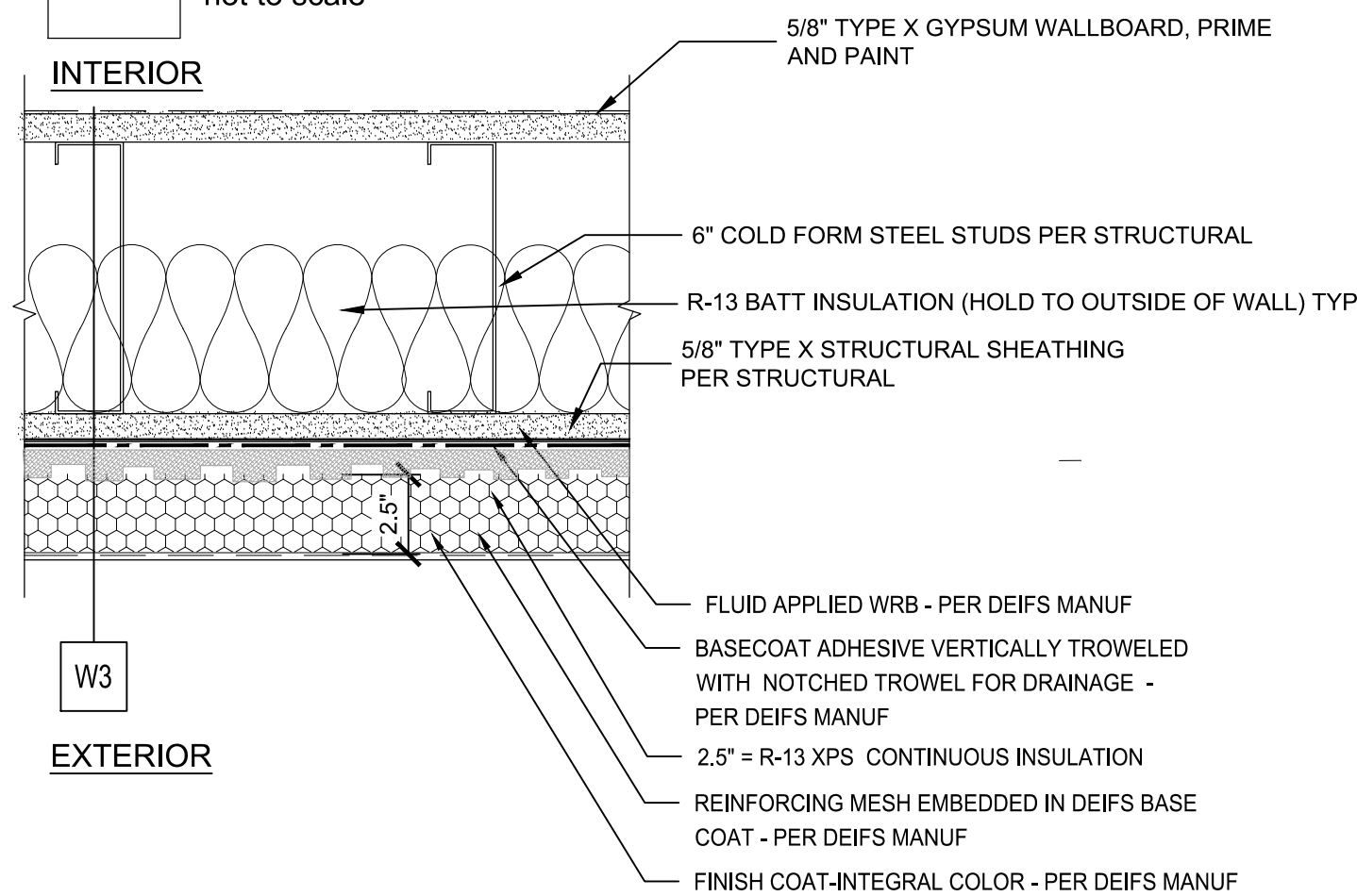
W6 EXTERIOR PARAPET WALL (NON CONDITIONED)
not to scale



W1 DEIFS (DRAINABLE EXTERIOR INSULATED FINISH SYSTEM) AT EXISTING CONCRETE WALL
not to scale

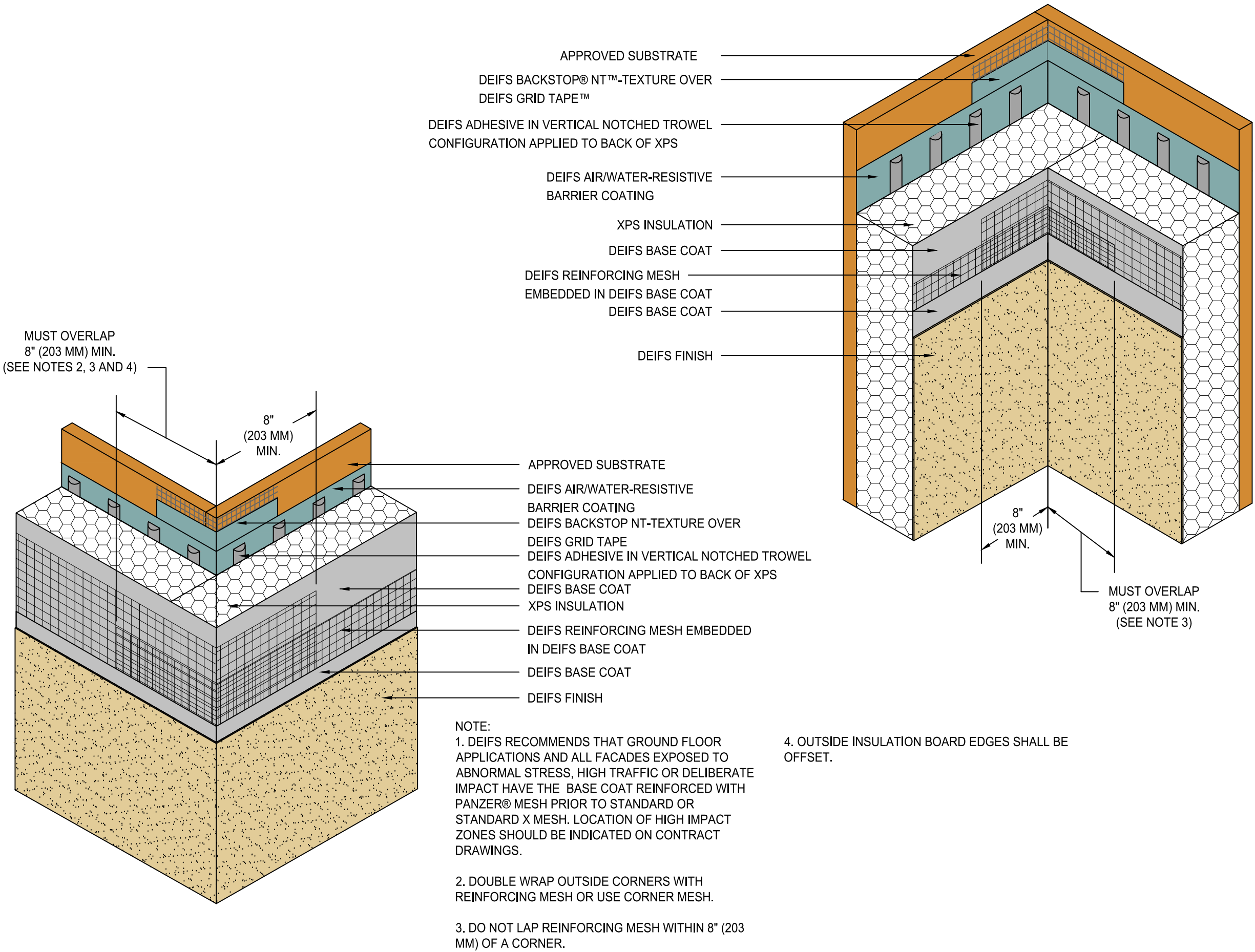


W2 DEIFS AT CFS AND EXIST CONC/TILE WALL
not to scale



W3 DEIFS AT COLD FRAME STEEL (CFS) WALLS
not to scale
1-HOUR FIRE RATING
ASSEMBLY: GA 1072

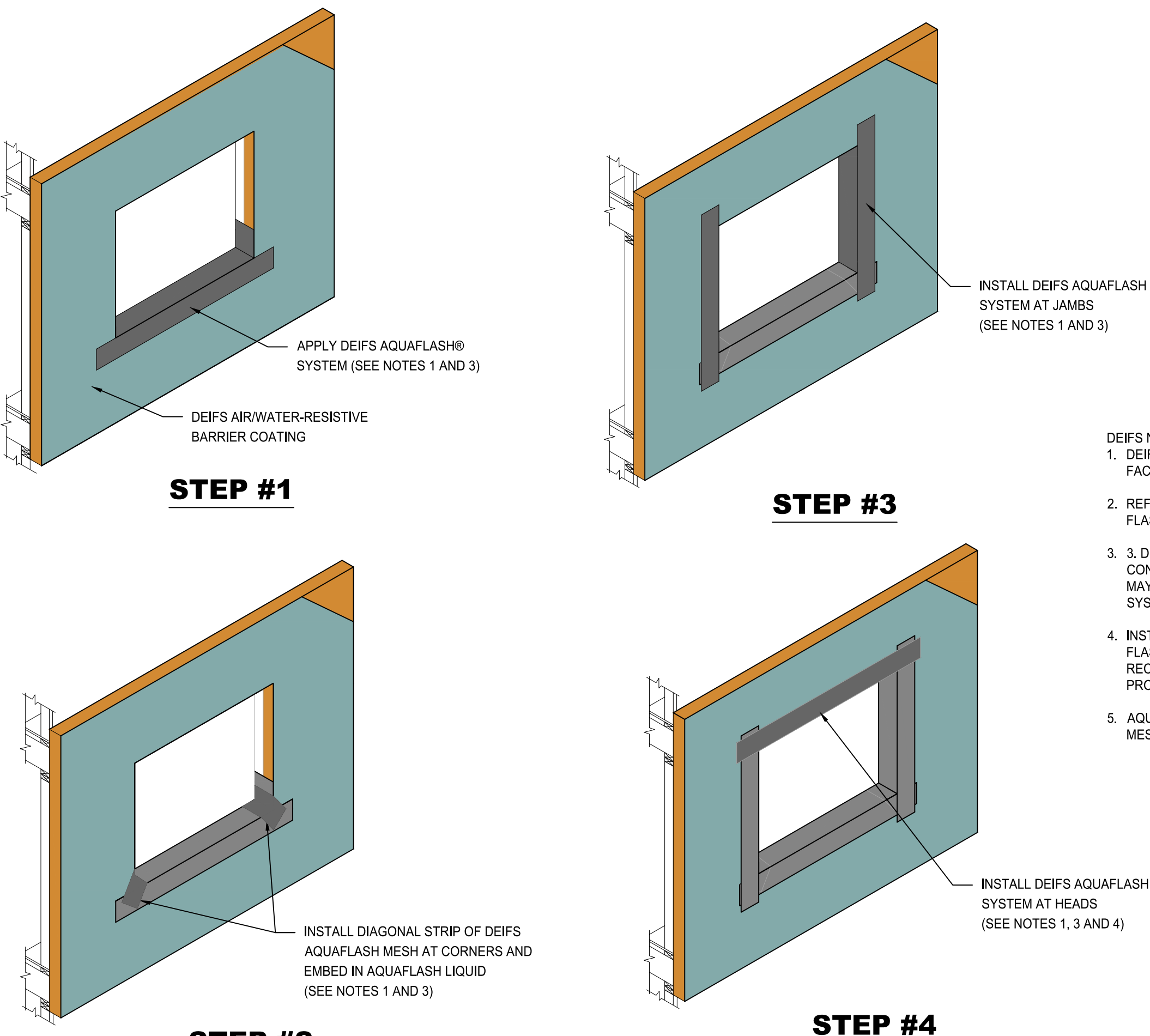
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14
W201

INSIDE AND OUTSIDE CORNERS

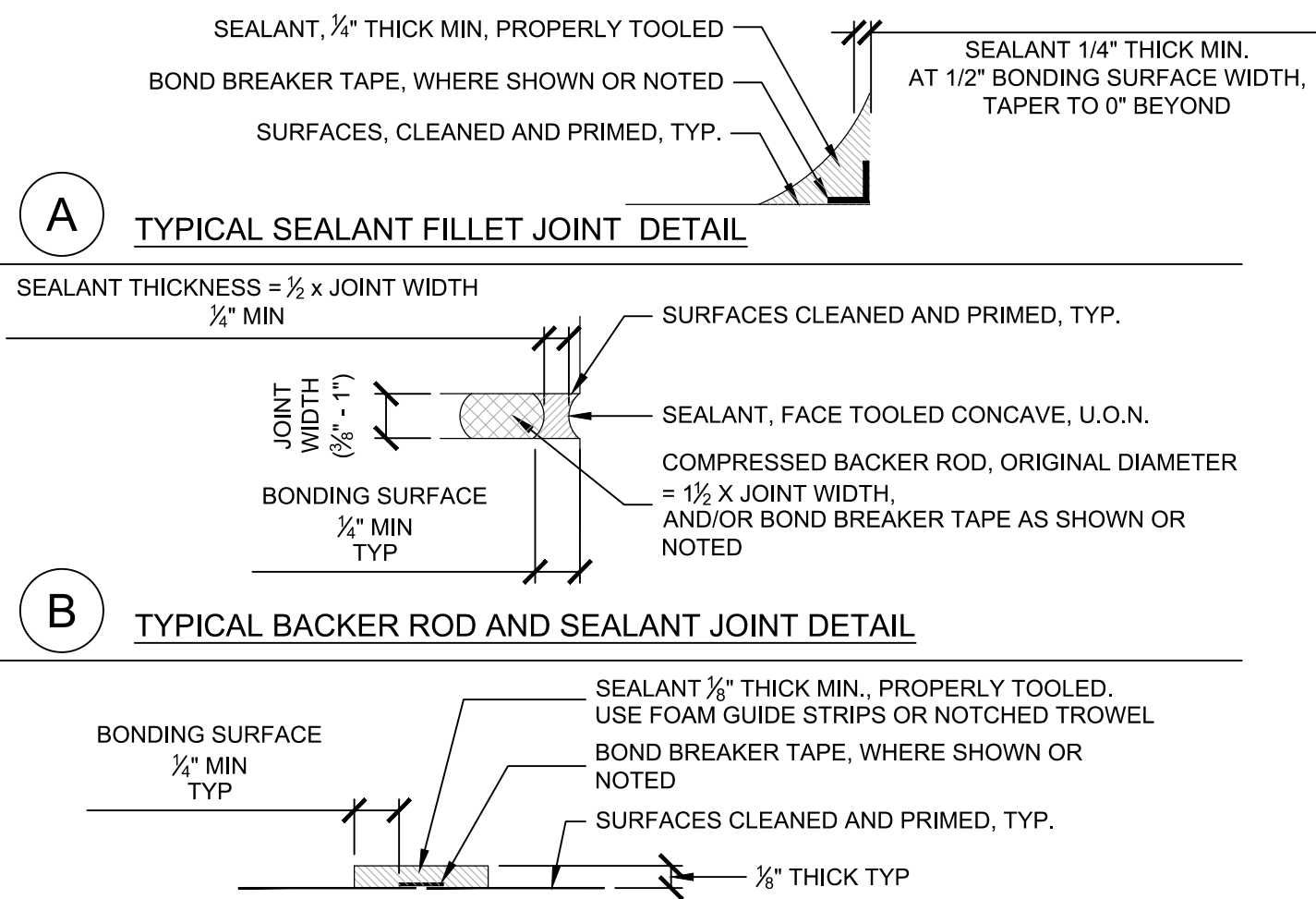
SCALE: NTS



15
W201

OPENING PREPARATION AQUAFLASH SYSTEM

SCALE: NTS



TYPICAL SEALANT JOINTS

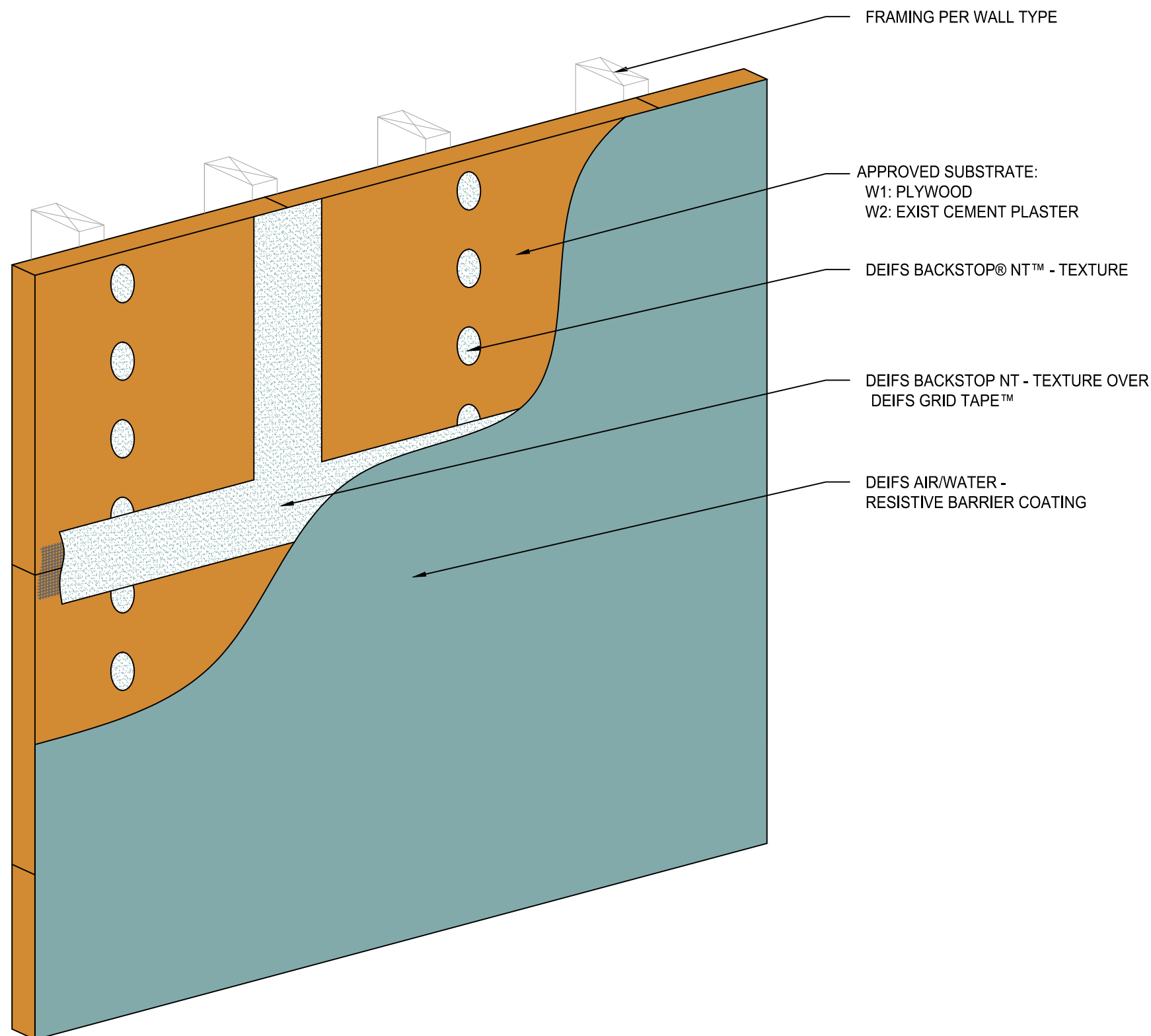
TYPICAL NOTES, ALL SEALANT JOINTS:

- CLEAN ALL SURFACES TO RECEIVE SEALANTS AND USE SEALANT MANUFACTURER'S RECOMMENDED PRIMER.
- MASK ALL JOINTS WITH MASKING TAPE, TYPICAL. REMOVE IMMEDIATELY AFTER TOOLING SEALANT.
- DO NOT USE ANY ALCOHOL, WATER OR OTHER AGENTS FOR TOOLING SEALANTS.
- INSTALL BOND BREAKER TAPE OR CLOSED-CELL BACKER ROD WHERE SHOWN OR NOTED.

16
W201

TYPICAL SEALANT JOINTS

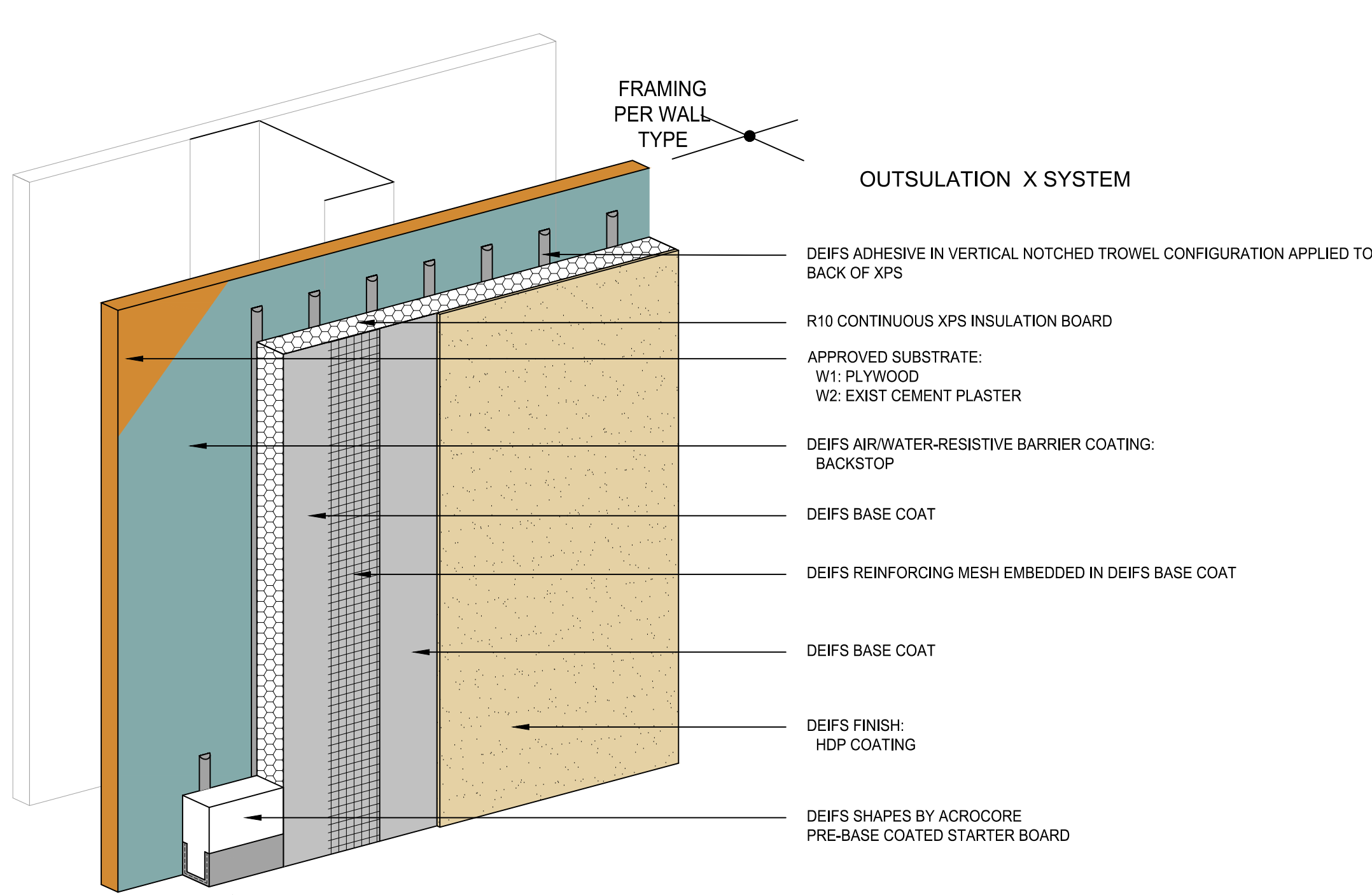
SCALE: N.T.S.



19
W201

DEIFS WRB INSTALLATION

SCALE: NTS



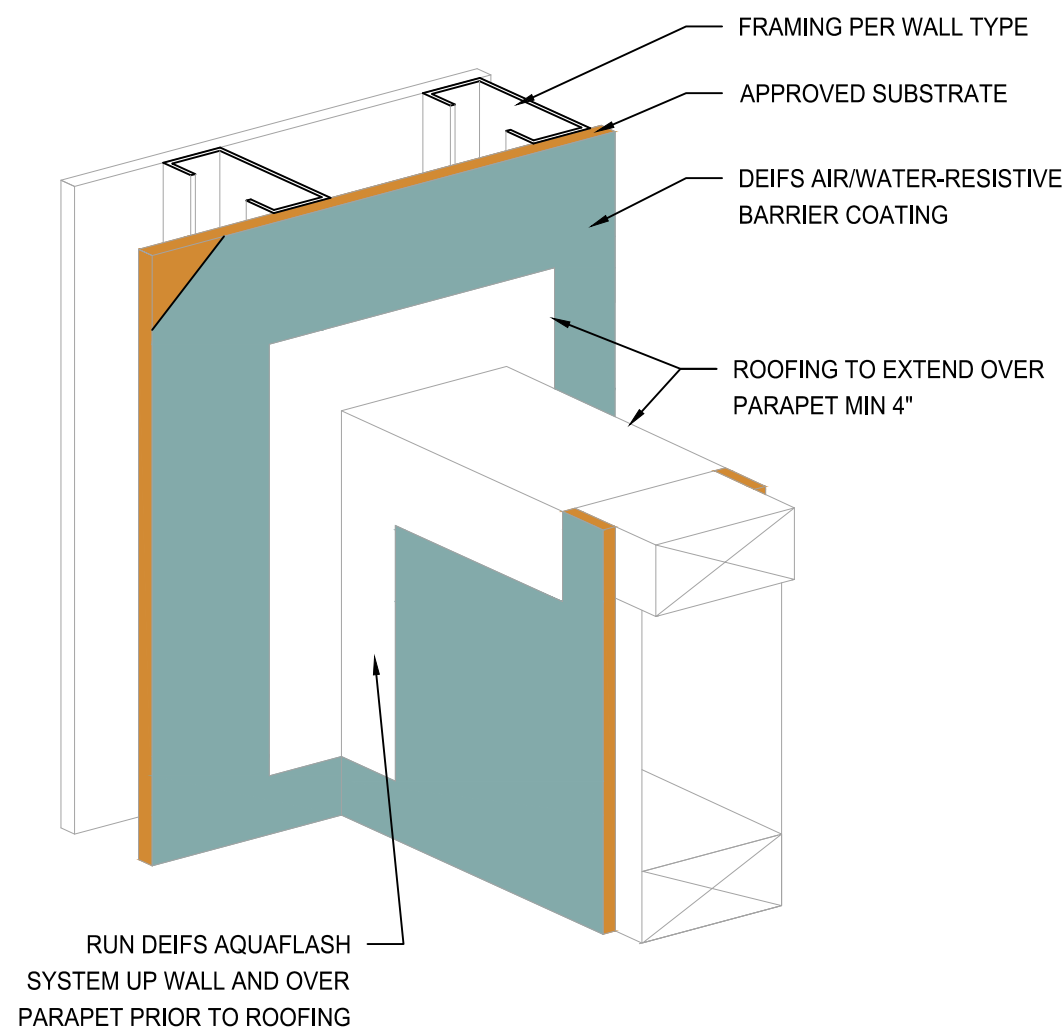
20
W201

DEIFS X SYSTEM WITH STARTER BOARD

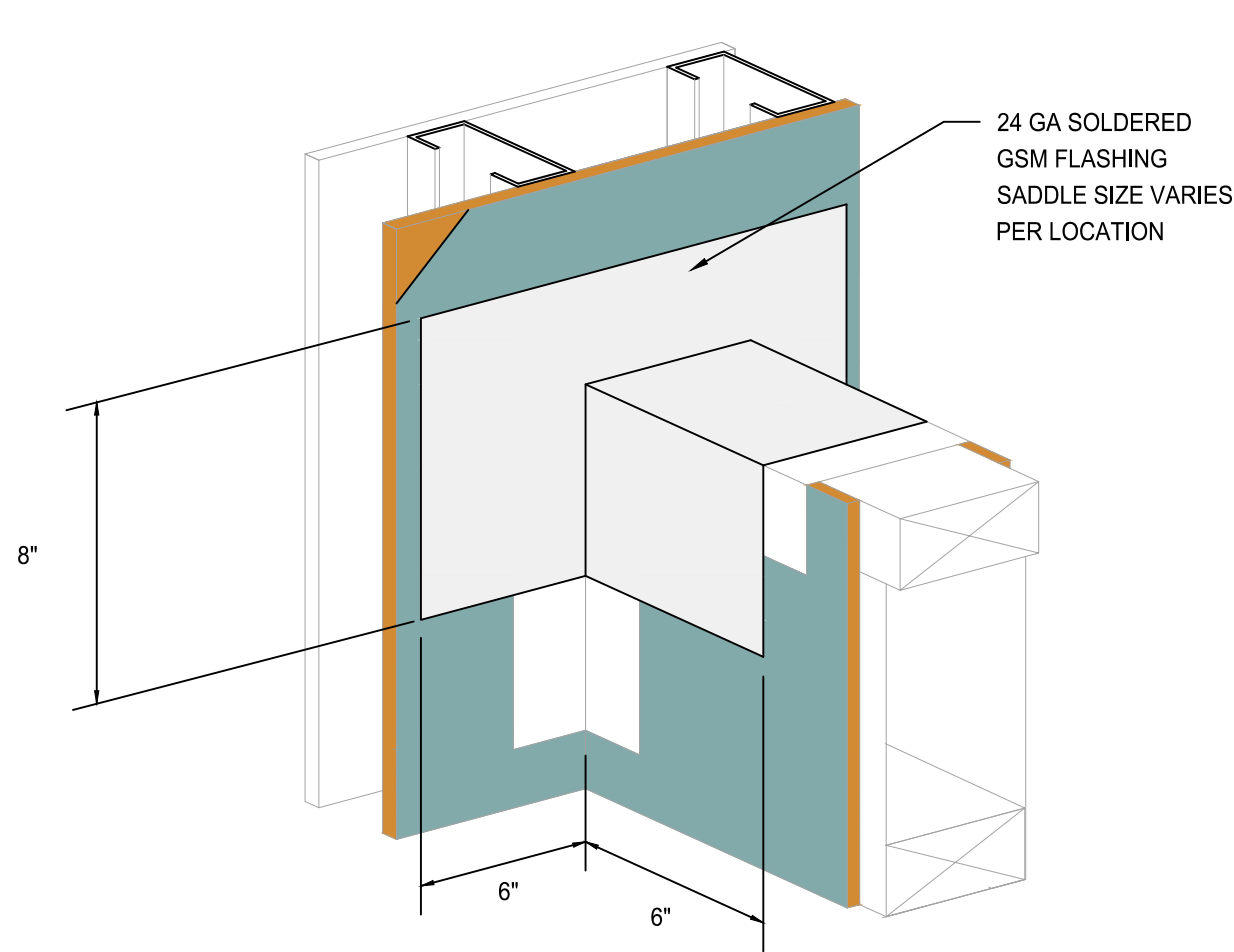
SCALE: NTS

NORMAL
IMPACT

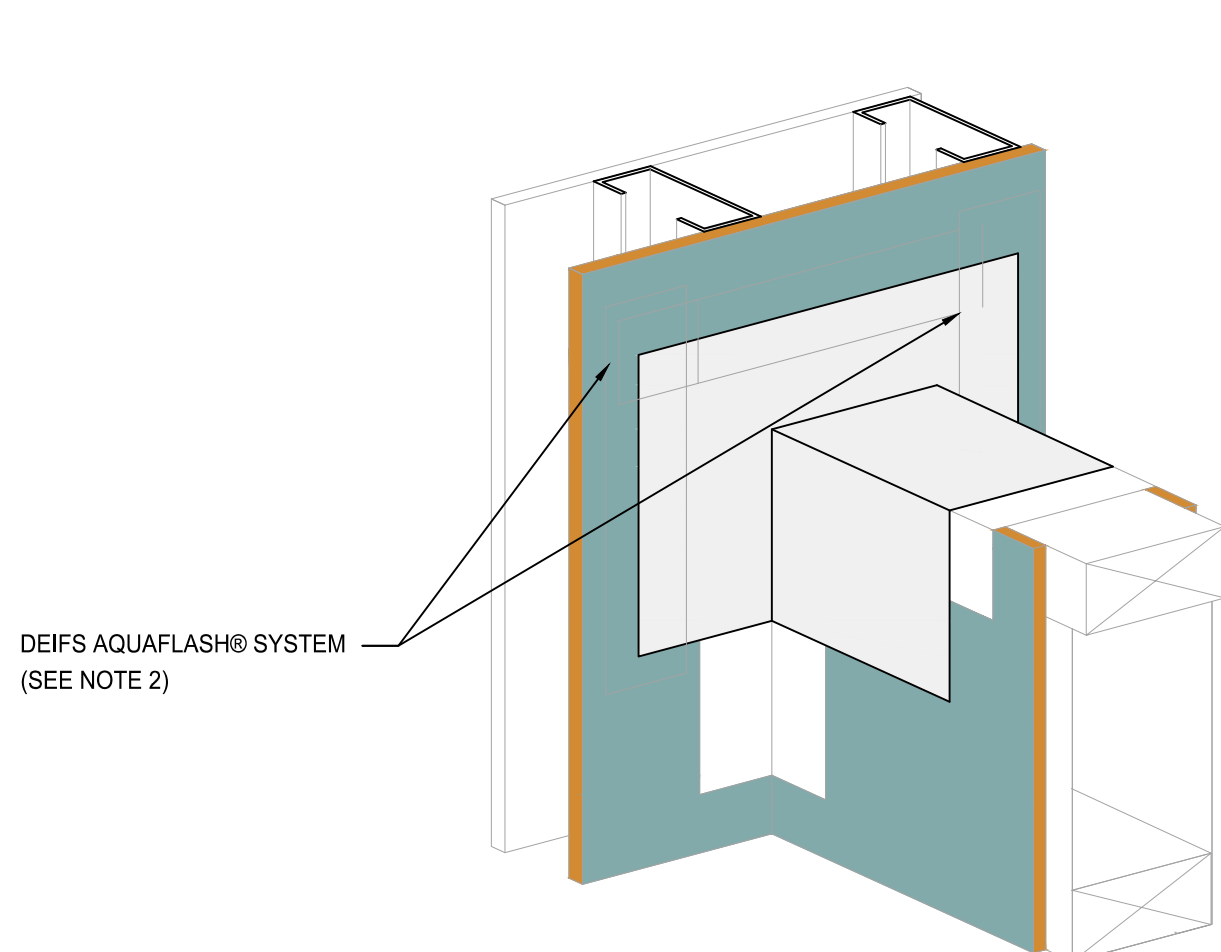
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STEP #1



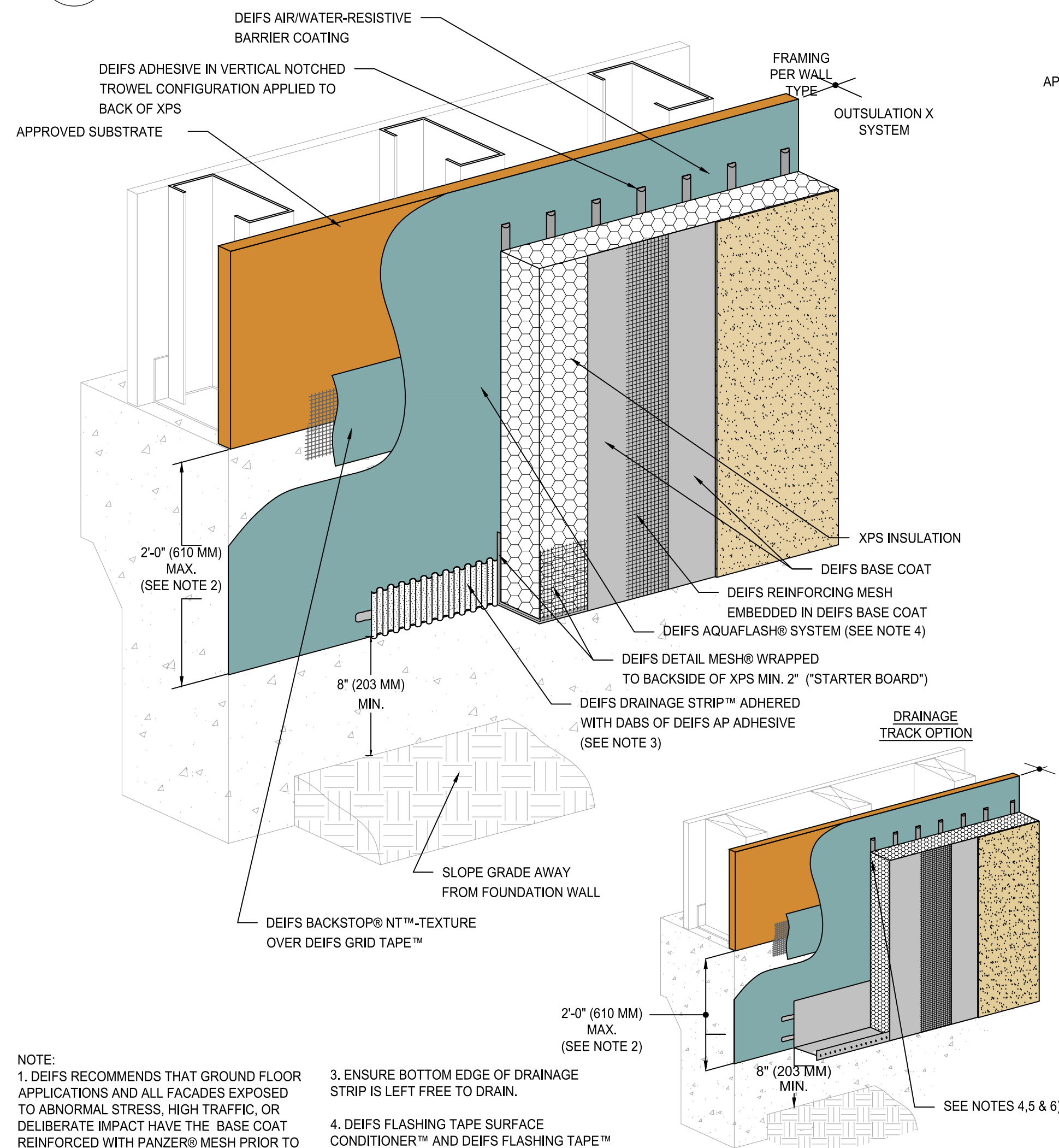
STEP #2



STEP #3

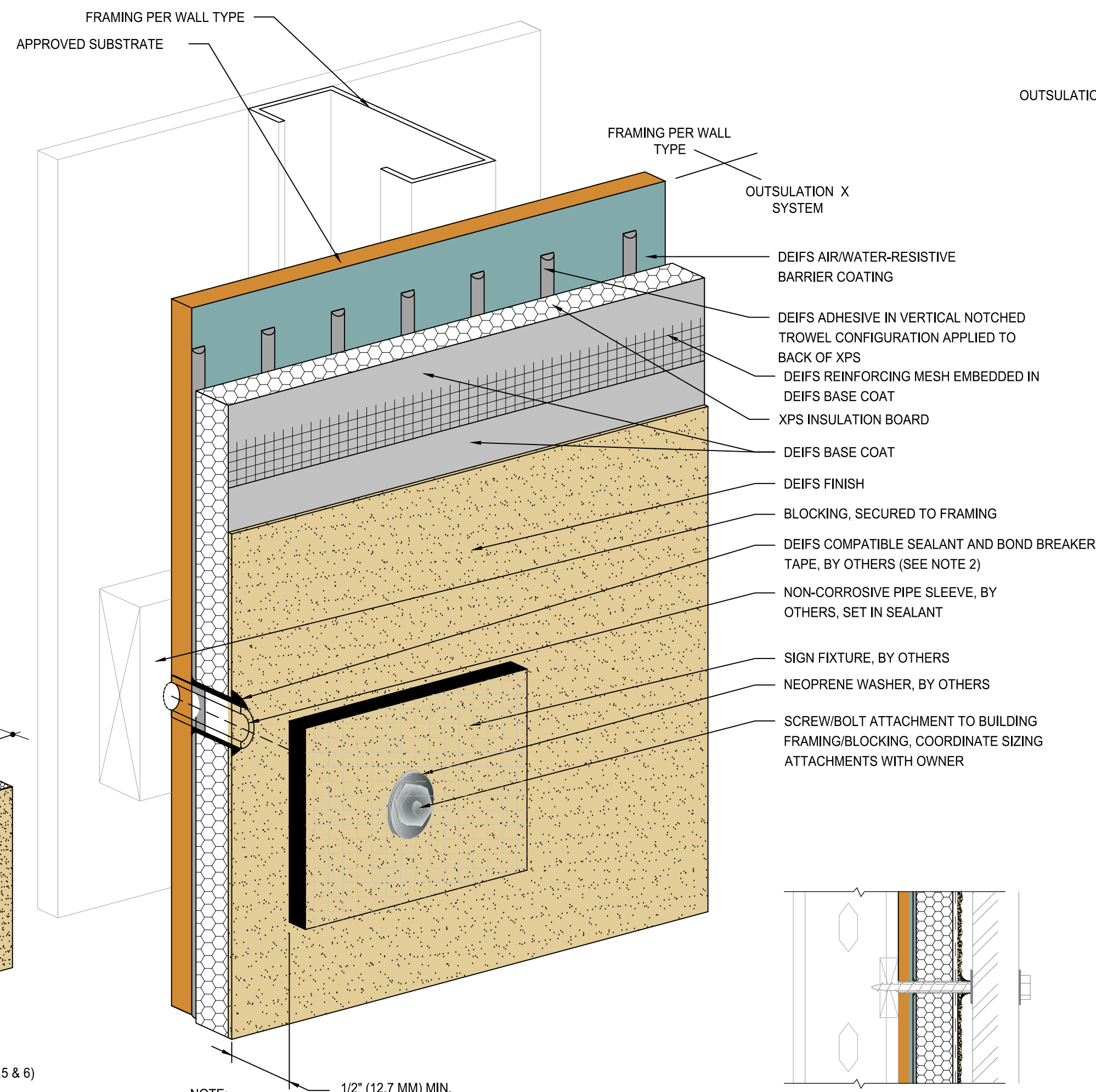
NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
2. DEIFS FLASHING TAPE SURFACE CONDITIONER™ AND DEIFS FLASHING TAPE™ MAY BE USED IN LIEU OF DEIFS AQUAFASH SYSTEM.

16 W202 PREPARATION AT PARAPET/WALL INTERSECTION SCALE: NTS



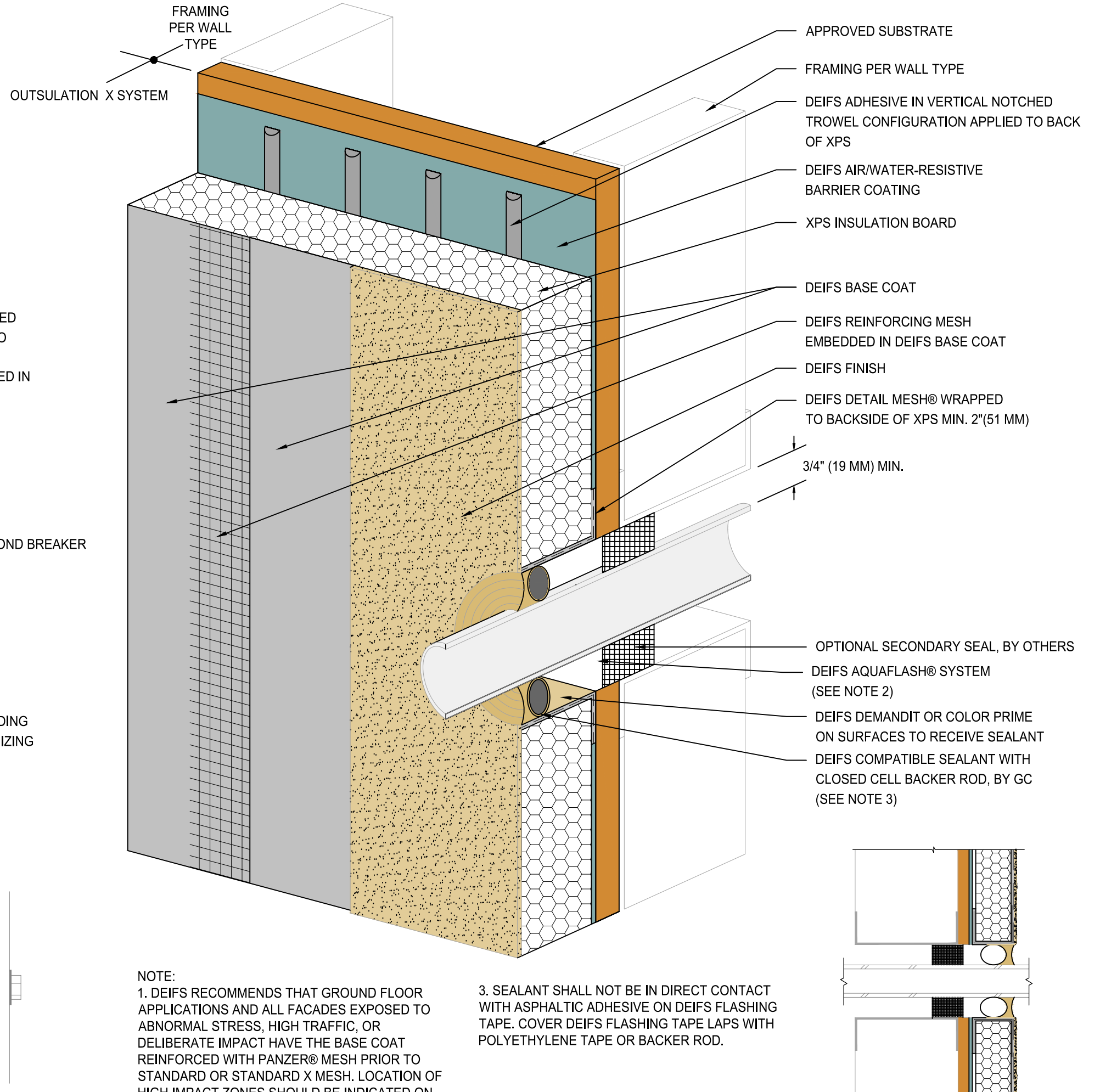
NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
2. EXPANSION JOINT IS REQUIRED ALONG TOP OF FOUNDATION IF 2'-0" (610 MM) DIMENSION IS EXCEEDED.
3. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.
4. DEIFS FLASHING TAPE SURFACE CONDITIONER™ AND DEIFS FLASHING TAPE™ MAY BE USED IN LIEU OF DEIFS AQUAFASH SYSTEM.
5. DRAINAGE TRACK USAGE IS LIMITED TO THE BASE OF THE SYSTEM AT FINISHED GRADE LEVEL.
6. LIGHTLY SAND SURFACE OF DRAINAGE TRACK TO MAXIMIZE ADHESION.

BASE OF WALL TERMINATION



NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
2. PERIMETER OF PIPE SLEEVE IS SEALED TO PREVENT WATER ENTRY INTO WALL.

SIGN ATTACHMENT



NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
2. DEIFS FLASHING TAPE SURFACE CONDITIONER™ AND DEIFS FLASHING TAPE™ MAY BE USED IN LIEU OF DEIFS AQUAFASH SYSTEM.
3. SEALANT SHALL NOT BE IN DIRECT CONTACT WITH ASPHALTIC ADHESIVE ON DEIFS FLASHING TAPE. COVER DEIFS FLASHING TAPE LAPS WITH POLYETHYLENE TAPE OR BACKER ROD.

Penetrations

PENETRATIONS TYPICAL

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206-443-6499
PETERSEN THOMAS LAMBERT
STATE OF WASHINGTON
REGISTERED
46585
Professional Engineer
Petersen

ABB Project
22-7763.01
Skagit County Facilities
Project # 3809
PROJECT NAME:
Skagit County Superior Court
Rooftop Jailhouse Removal
OWNER NAME / ADDRESS:
Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273
PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273
PROPERTY MANAGER:
Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen

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CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE

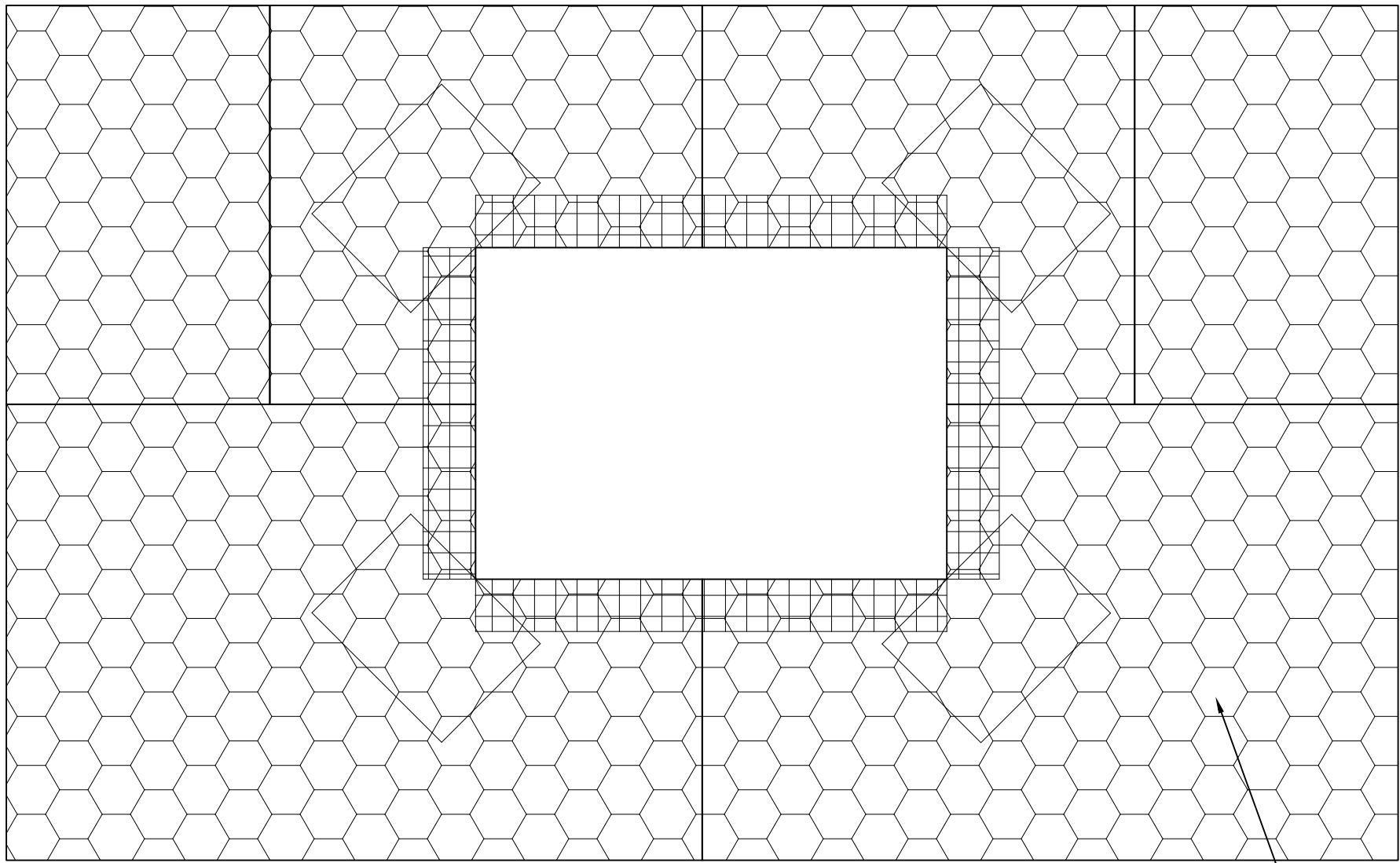
DEIFS WALL
DETAILS

SCALE: NOTED ON DRAWINGS

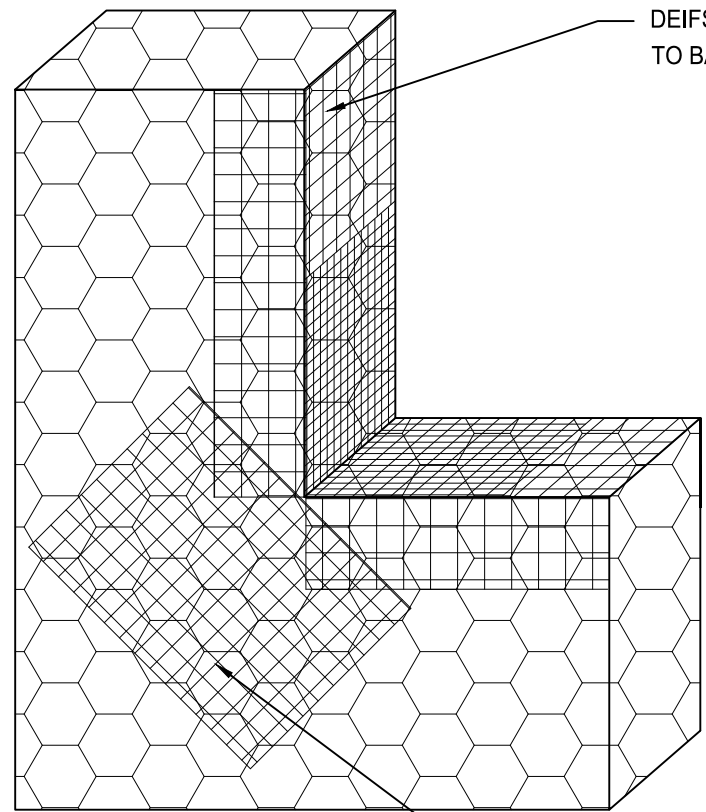
W202

SHEET

- NOTES:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. LOCATE INSULATION BOARDS SUCH THAT BOARD EDGES DO NOT ALIGN WITH CORNERS OF PENETRATION.
 3. APPLY A PIECE OF 9 1/2" (241 MM) X 12" (305 MM) DETAIL REINFORCING MESH DIAGONALLY AT EACH CORNER.



XPS INSULATION
(SEE NOTE 2)



DEIFS DETAIL MESH® WRAPPED
TO BACKSIDE OF XPS MIN. 2" (51 MM)

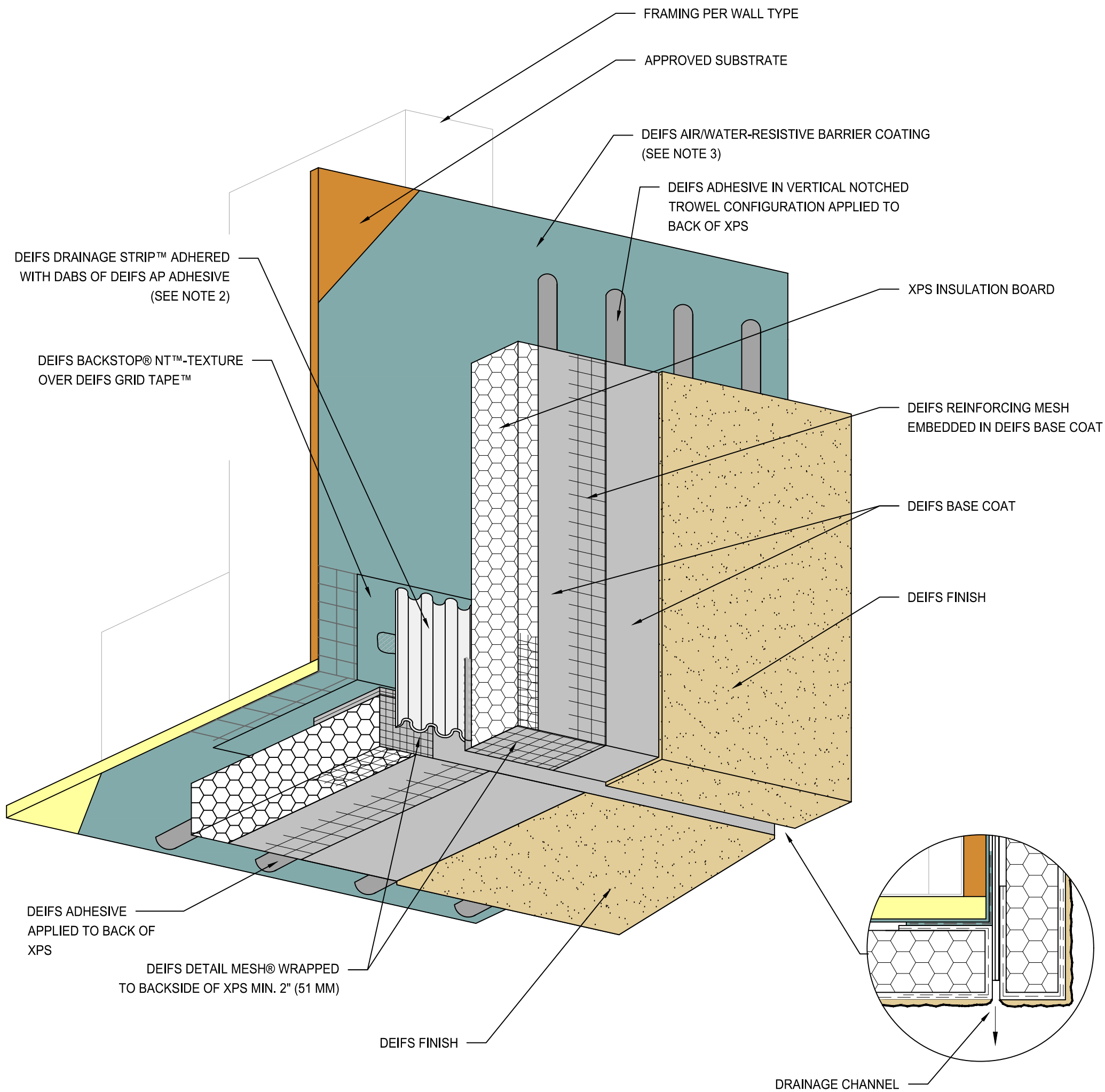
DEIFS DETAIL REINFORCING MESH
9 1/2" (241 MM) X 12" (305 MM) (TYP.)
(SEE NOTE 3)

16

W202

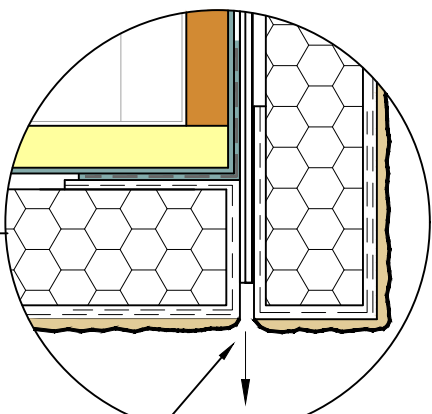
XPS PREPARATION AT WALL PENETRATIONS

SCALE: NTS



NOTE:

1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
2. ENSURE BOTTOM EDGE OF DRAINAGE STRIP IS LEFT FREE TO DRAIN.
3. DEIFS AIR/WATER-RESISTIVE BARRIER IS REQUIRED OVER VERTICAL SUBSTRATES, APPLICATION OVER HORIZONTAL SOFFIT SUBSTRATE IS OPTIONAL UNLESS REQUIRED AS PART OF A CONTINUOUS AIR BARRIER SYSTEM.



DRAINAGE CHANNEL

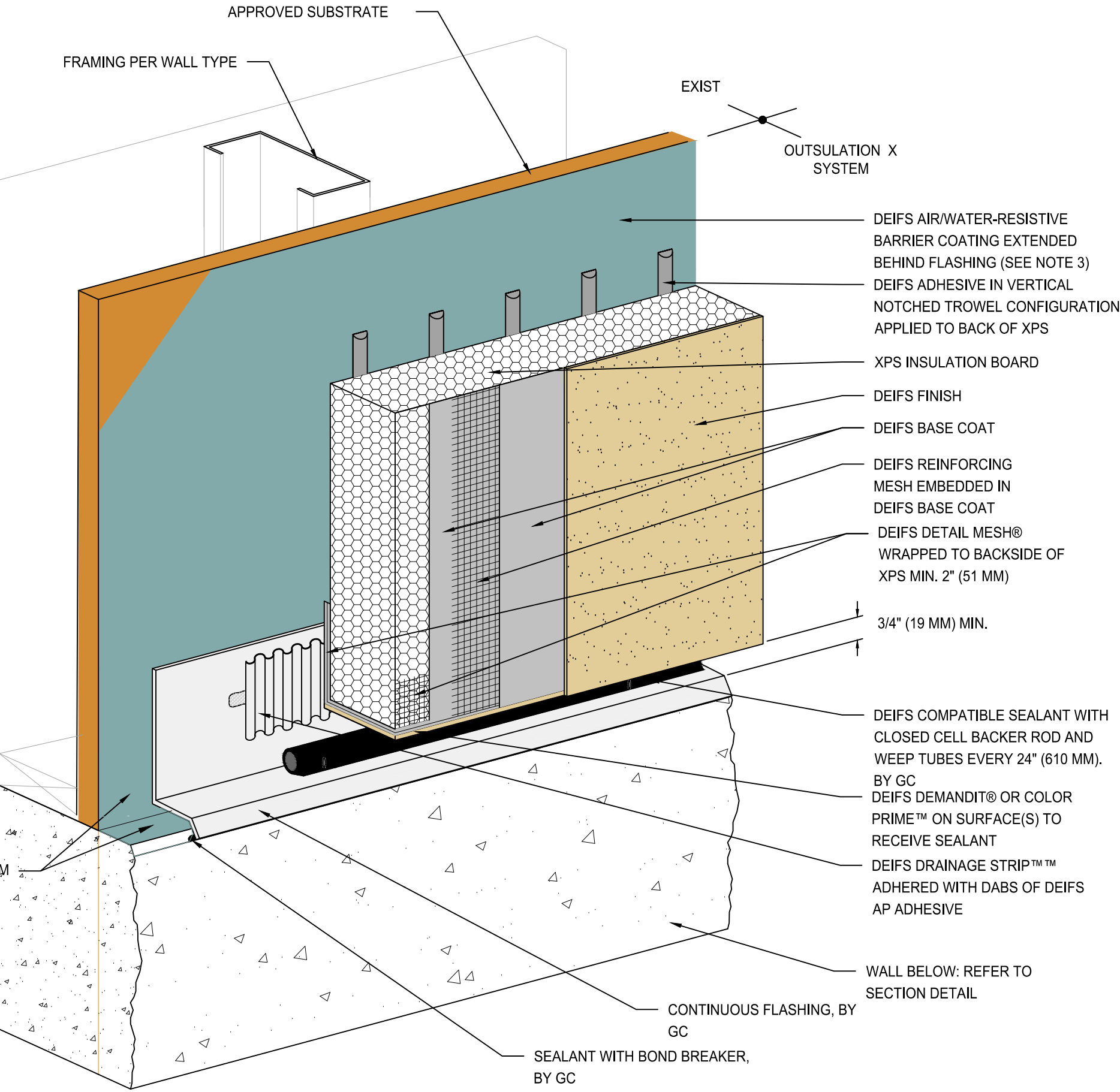
Transition At Soffit/ Fascia Intersection

3

W202

TRANSITION AT FASCIA SOFFIT INTERSECTION

SCALE: NTS



DEIFS AQUAFASH® SYSTEM
WRAP OVER CONCRETE
(SEE NOTE 2)

EXIST
OUTSULATION X
SYSTEM

DEIFS AIR/WATER-RESISTIVE
BARRIER COATING EXTENDED
BEHIND FLASHING (SEE NOTE 3)
DEIFS ADHESIVE IN VERTICAL
NOTCHED TROWEL CONFIGURATION
APPLIED TO BACK OF XPS
XPS INSULATION BOARD
DEIFS FINISH
DEIFS BASE COAT
DEIFS REINFORCING
MESH EMBEDDED IN
DEIFS BASE COAT
DEIFS DETAIL MESH®
WRAPPED TO BACKSIDE OF
XPS MIN. 2" (51 MM)
3/4" (19 MM) MIN.
DEIFS COMPATIBLE SEALANT WITH
CLOSED CELL BACKER ROD AND
WEEP TUBES EVERY 24" (610 MM).
BY GC
DEIFS DEMANDIT® OR COLOR
PRIME™ ON SURFACE(S) TO
RECEIVE SEALANT
DEIFS DRAINAGE STRIP™
ADHERED WITH DABS OF DEIFS
AP ADHESIVE
WALL BELOW: REFER TO
SECTION DETAIL
CONTINUOUS FLASHING, BY
GC
SEALANT WITH BOND BREAKER,
BY GC

NOTE:

1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
2. FOR INSTALLATION OF DEIFS AIR/WATER-RESISTIVE BARRIER COATING BENEATH CLADDINGS OTHER THAN DEIFS EIFS, REFER TO DEIFS PUBLICATION DS840.



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Peteresen
Thomas Lambert

ABB Project
22-7763.01
Skagit County Facilities
Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Rooftop Jailhouse Removal*
OWNER NAME / ADDRESS:
*Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*
PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*
PROPERTY MANAGER:
*Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen*

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CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE

DEIFS WALL
DETAILS

SCALE: NOTED ON DRAWINGS

W203

SHEET



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206-443-6499



Peteresen

ABB Project
22-7763.01
Skagit County Facilities
Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Roof Top Jailhouse Removal*
OWNER NAME / ADDRESS:
*Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*
PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*
PROPERTY MANAGER:
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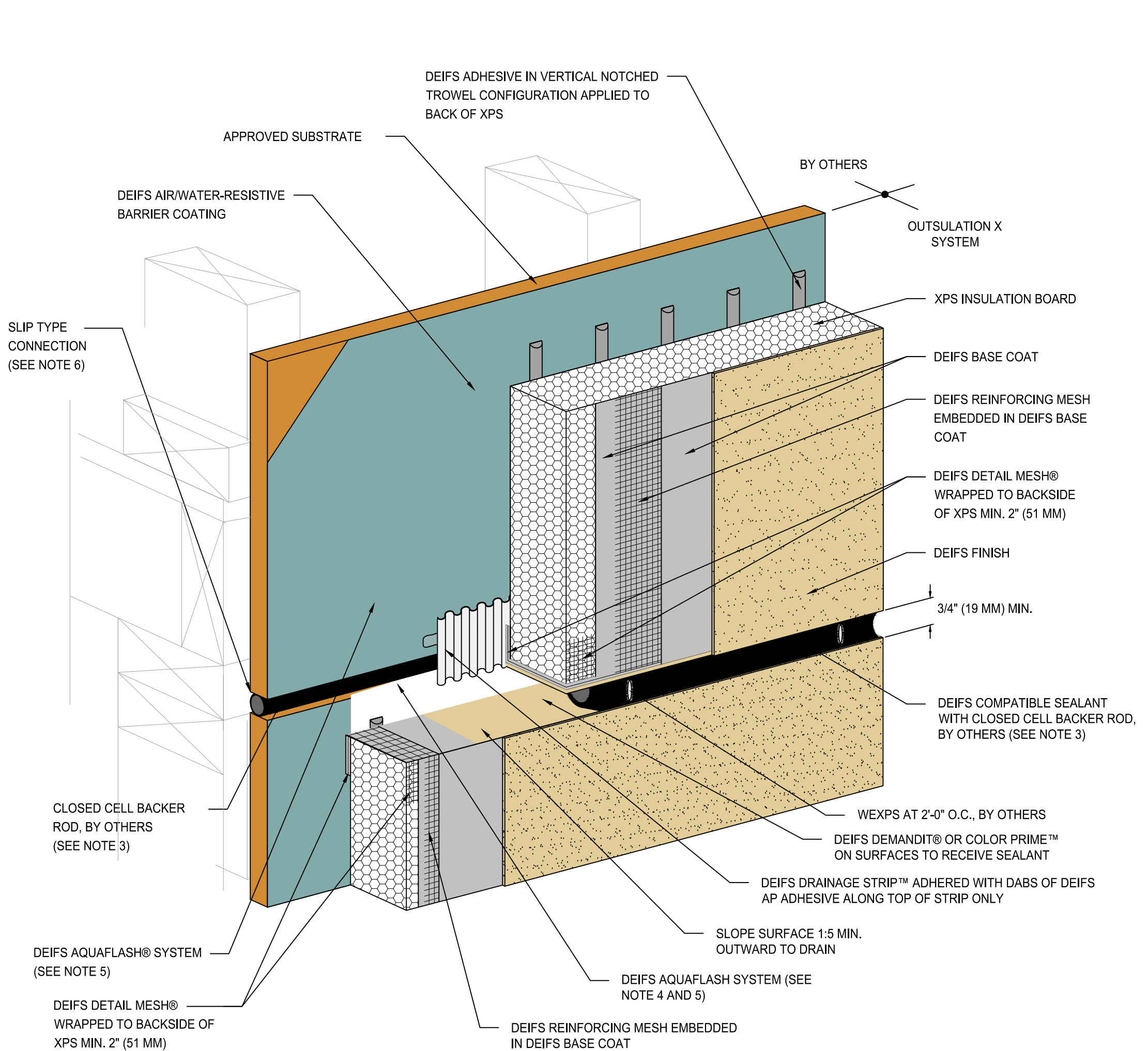
SHEET TITLE

DEIFS WALL
DETAILS

SCALE: NOTED ON DRAWINGS

W204

SHEET



NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

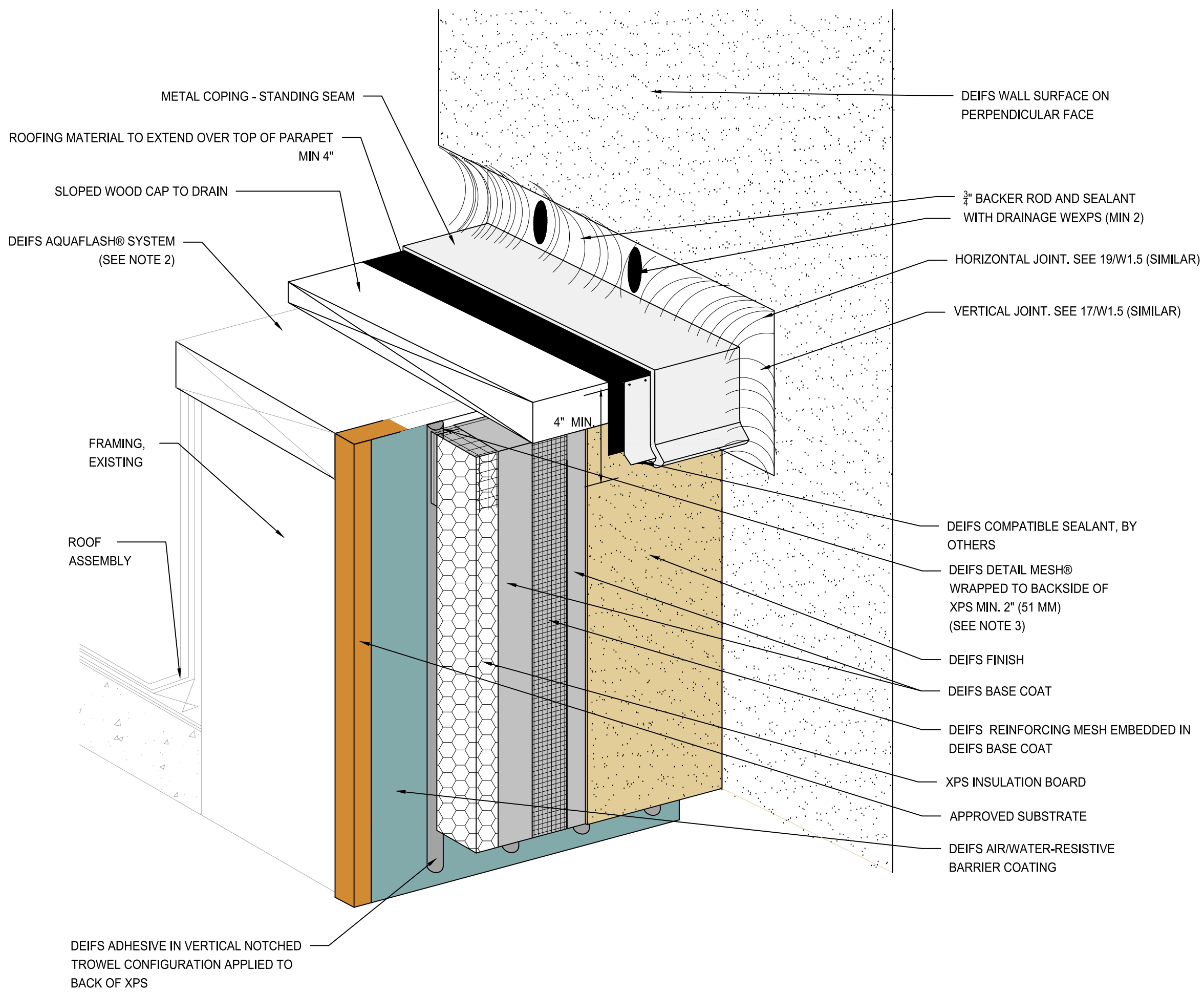
2. EXPANSION JOINT IN THE OUTSULATION X SYSTEM IS NECESSARY WHERE SIGNIFICANT DIFFERENTIAL MOVEMENT IS EXPECTED AT FLOOR LINES.

3. LOCATE EXTERNAL SEALANT JOINT WITHIN 2" (51 MM) OF BREAK IN SHEATHING.

4. STOP AQUAFLASH SHORT OF SEALANT BOND LINE.

5. DEIFS FLASHING TAPE SURFACE CONDITIONER™ AND DEIFS FLASHING TAPE™ MAY BE USED IN LIEU OF DEIFS AQUAFLASH SYSTEM.

6. FOR STEEL FRAMED CONSTRUCTION: EXPANSION JOINT IS INTENDED TO ACCOMMODATE MOVEMENT AT SLIP CONNECTION. FOR WOOD FRAMED CONSTRUCTION: EXPANSION JOINT IS INTENDED TO ACCOMMODATE CROSS GRAIN SHRINKAGE FOR FLOOR BEAMS.



NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.

2. DEIFS FLASHING TAPE SURFACE CONDITIONER™ AND DEIFS FLASHING TAPE™ MAY BE USED IN LIEU OF DEIFS AQUAFLASH SYSTEM.

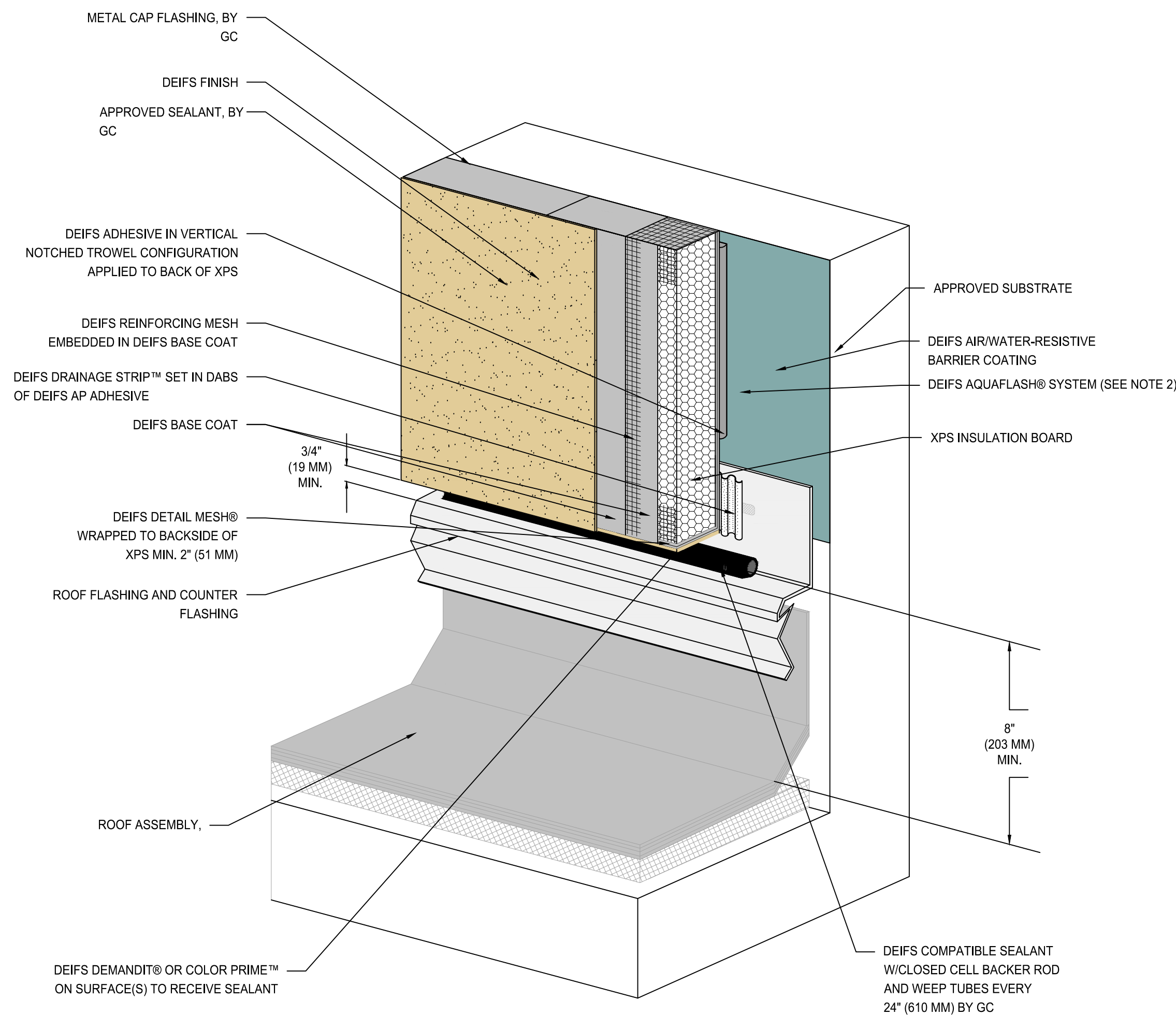
3. EDGE WRAPPING METHOD IS ACCEPTABLE IN LIEU OF BACK WRAPPING. DEIFS REINFORCING MESH MUST BE FULLY EMBEDDED IN DEIFS BASE COAT AT XPS EDGE AND EXTEND ONTO SUBSTRATE 2" (51 MM) MIN.

4. MAXIMUM THICKNESS OF XPS BUILT OUT SHAPES SHALL NOT EXCEED 13" (330 MM) AT ANY POINT MEASURED FROM THE SUBSTRATE.

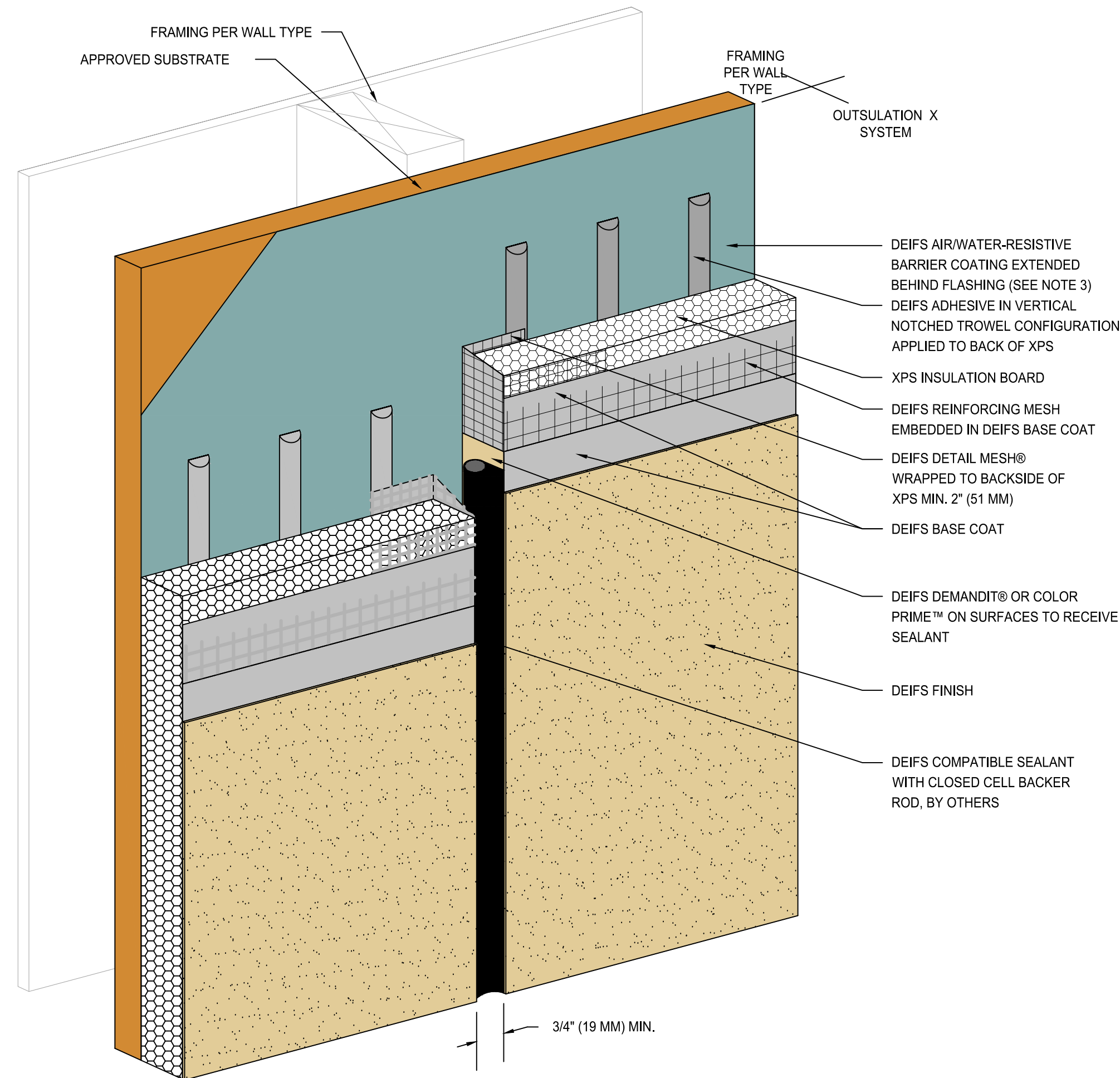
19
W204
HORIZONTAL SLIP JOINT WITH WEXPS
SCALE: NTS

1
W204
PARAPET COPING DETAIL INTERSECTION WITH PERPENDICULAR WALL
SCALE: NTS

Mark	Description	Date
	CONSTRUCTION PLANS (REVISED)	03/20/23
	BID SET ISSUE	04/24/23
1	PERMIT CORRECTION BID SET	06/21/23
	BID SET ISSUE	09/25/23



- NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. DEIFS FLASHING TAPE SURFACE CONDITIONER™ AND DEIFS FLASHING TAPE™ MAY BE USED IN LIEU OF DEIFS AQUAFASH SYSTEM.
 3. EDGE WRAPPING METHOD IS ACCEPTABLE IN LIEU OF BACK WRAPPING. DEIFS REINFORCING MESH MUST BE FULLY EMBEDDED IN DEIFS BASE COAT AT XPS EDGE AND EXTEND ONTO SUBSTRATE 2" (51 MM) MIN.



- NOTE:
1. DEIFS RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD X MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
 2. EIFS EXPANSION JOINTS ARE REQUIRED IN CONTINUOUS ELEVATIONS AT INTERVALS NOT EXCEEDING 75 FT (23 M)



ABB Project

PROJECT NAME:
**Skagit County Superior Court
Rooftop Jailhouse Removal**

OWNER NAME / ADDRESS:
**Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273**

PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273

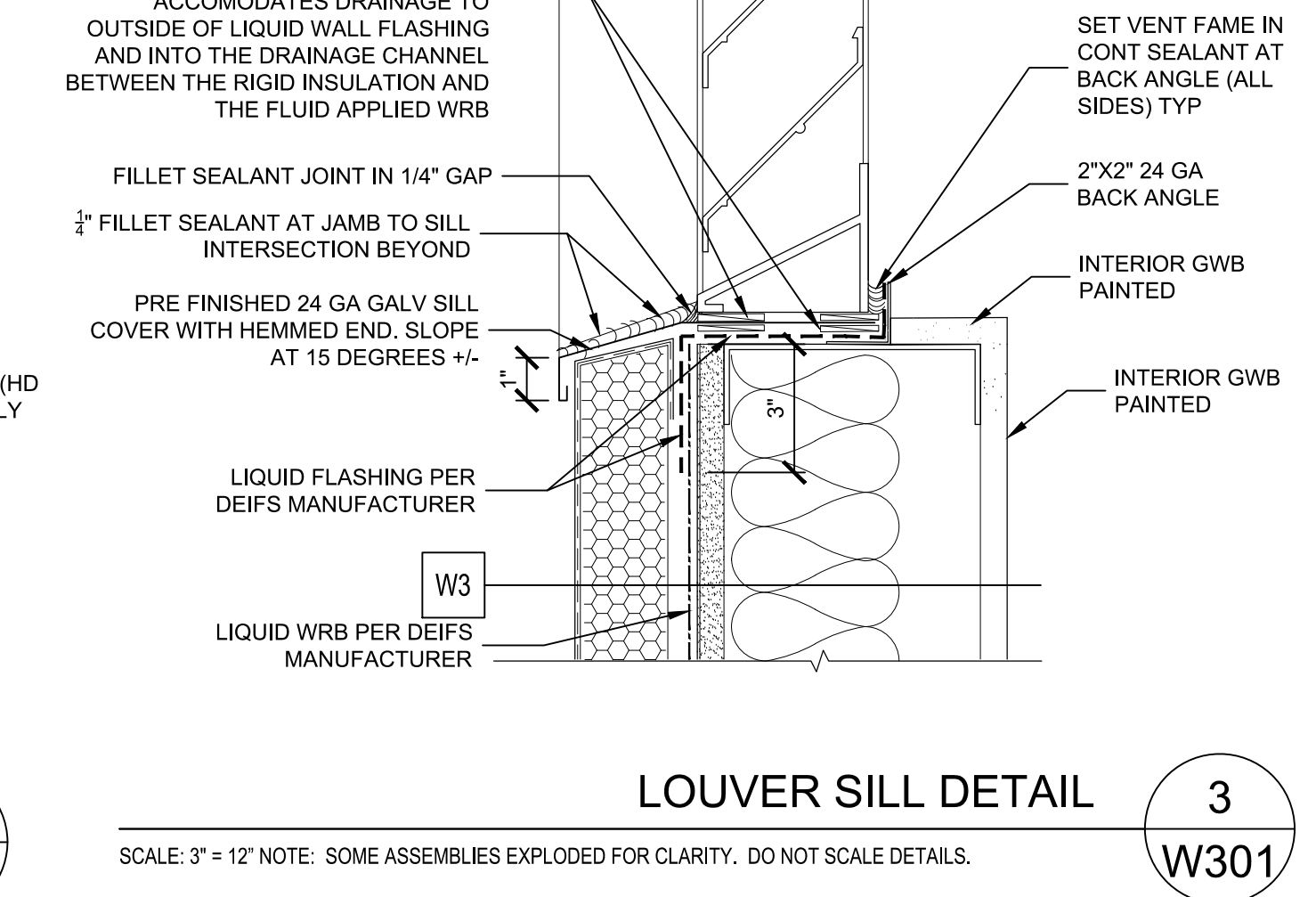
PROPERTY MANAGER:
**Skagit County Facilities
Management**
800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen

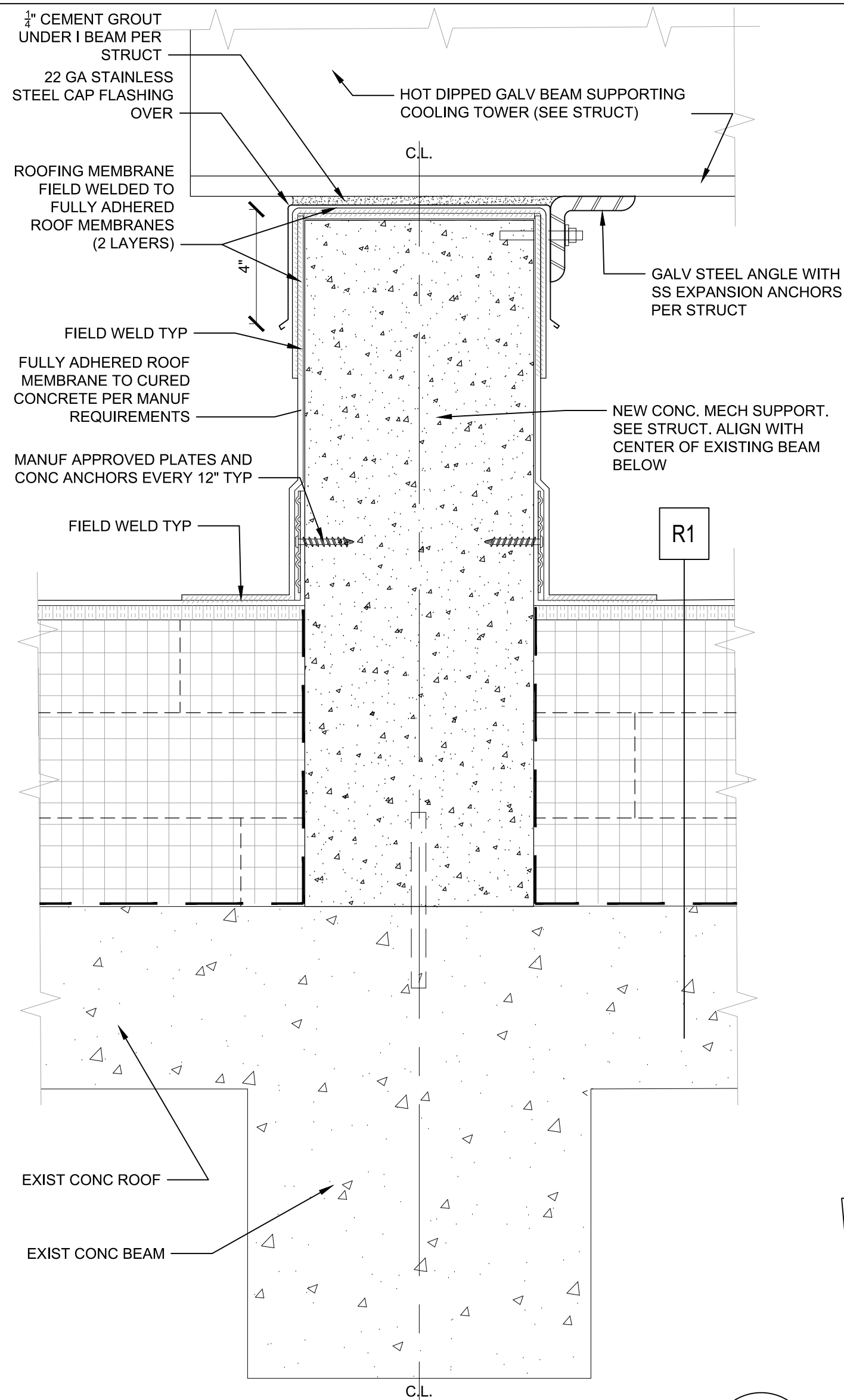
CITY OF MOUNT VERNON
PERMIT NUMBER
BLDG23-0137

SHEET TITLE

SCALE: NOTED ON DRAWINGS

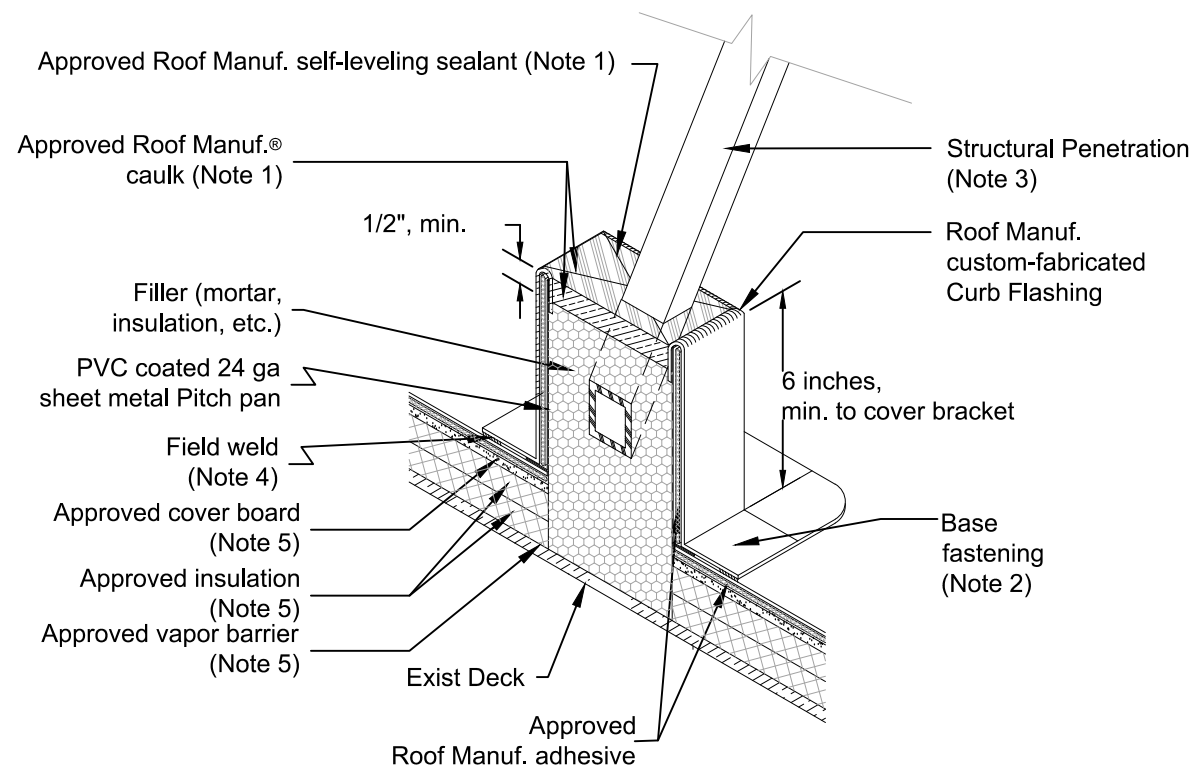
SHEET





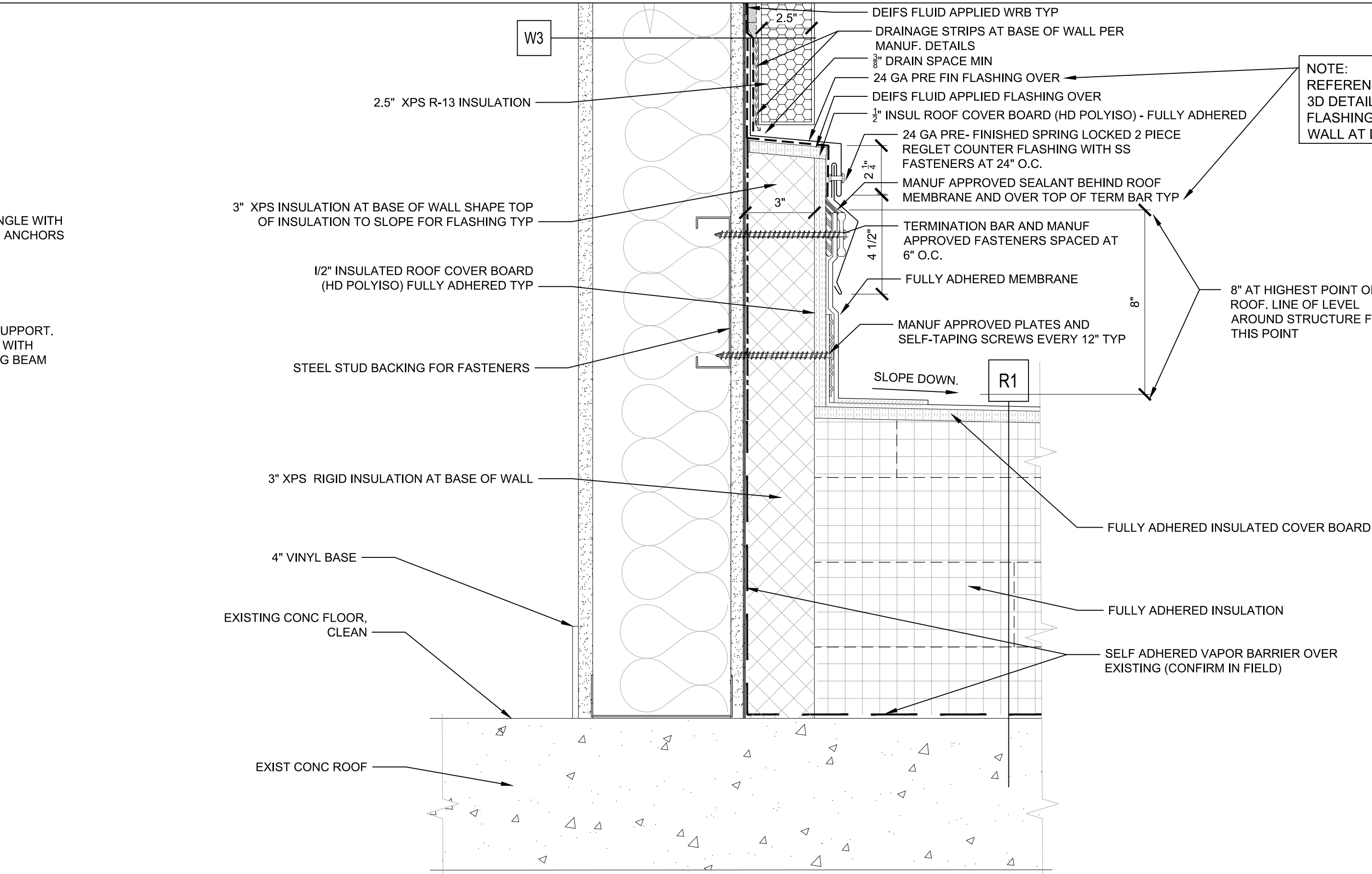
BASE OF WALL AT NEW WALL TO ROOF

SCALE: 3" = 12" NOTE: DO NOT SCALE DETAILS.



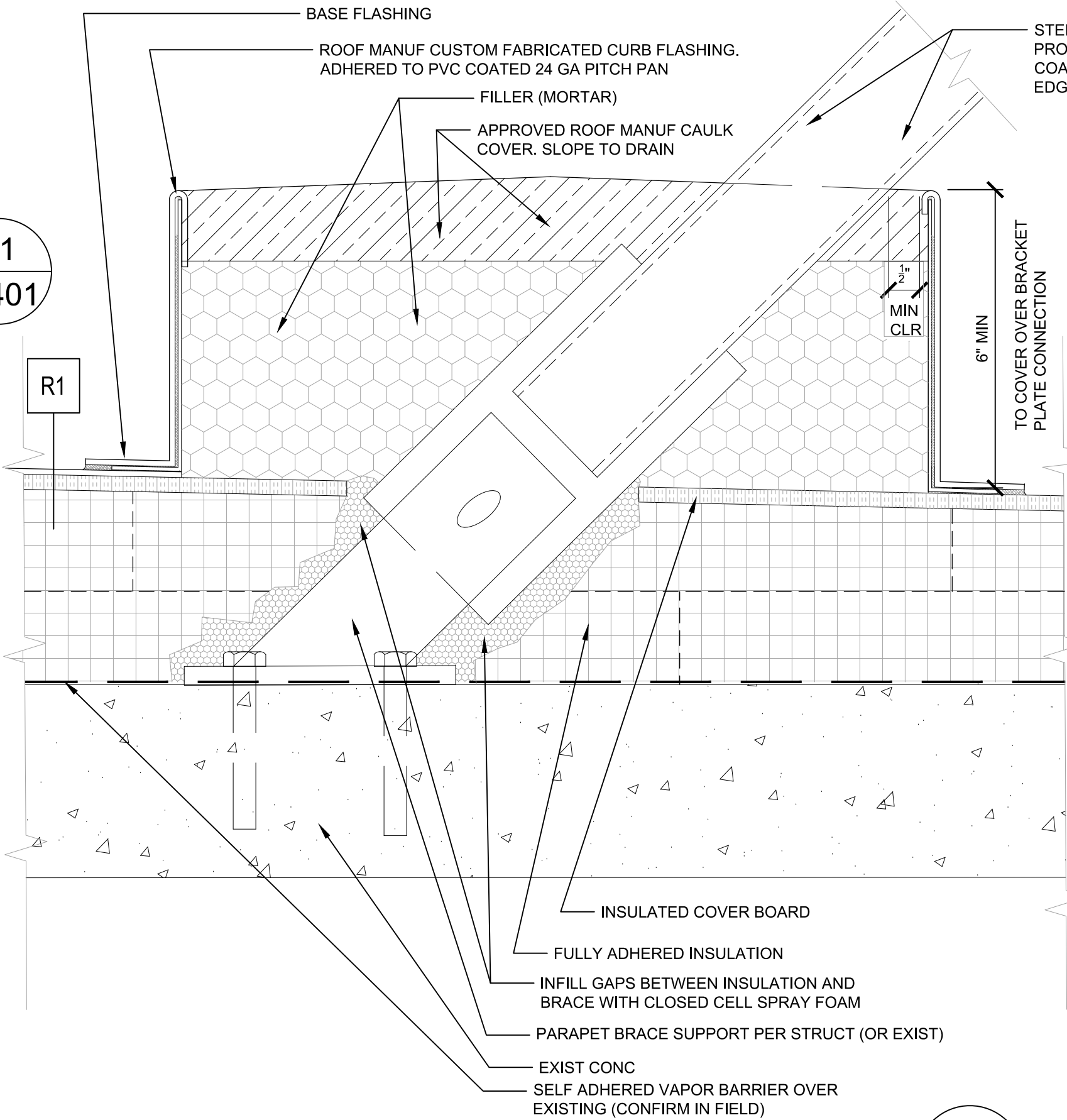
PITCH POCKET CUT AWAY VIEW

SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.



BASE OF WALL AT NEW WALL TO ROOF

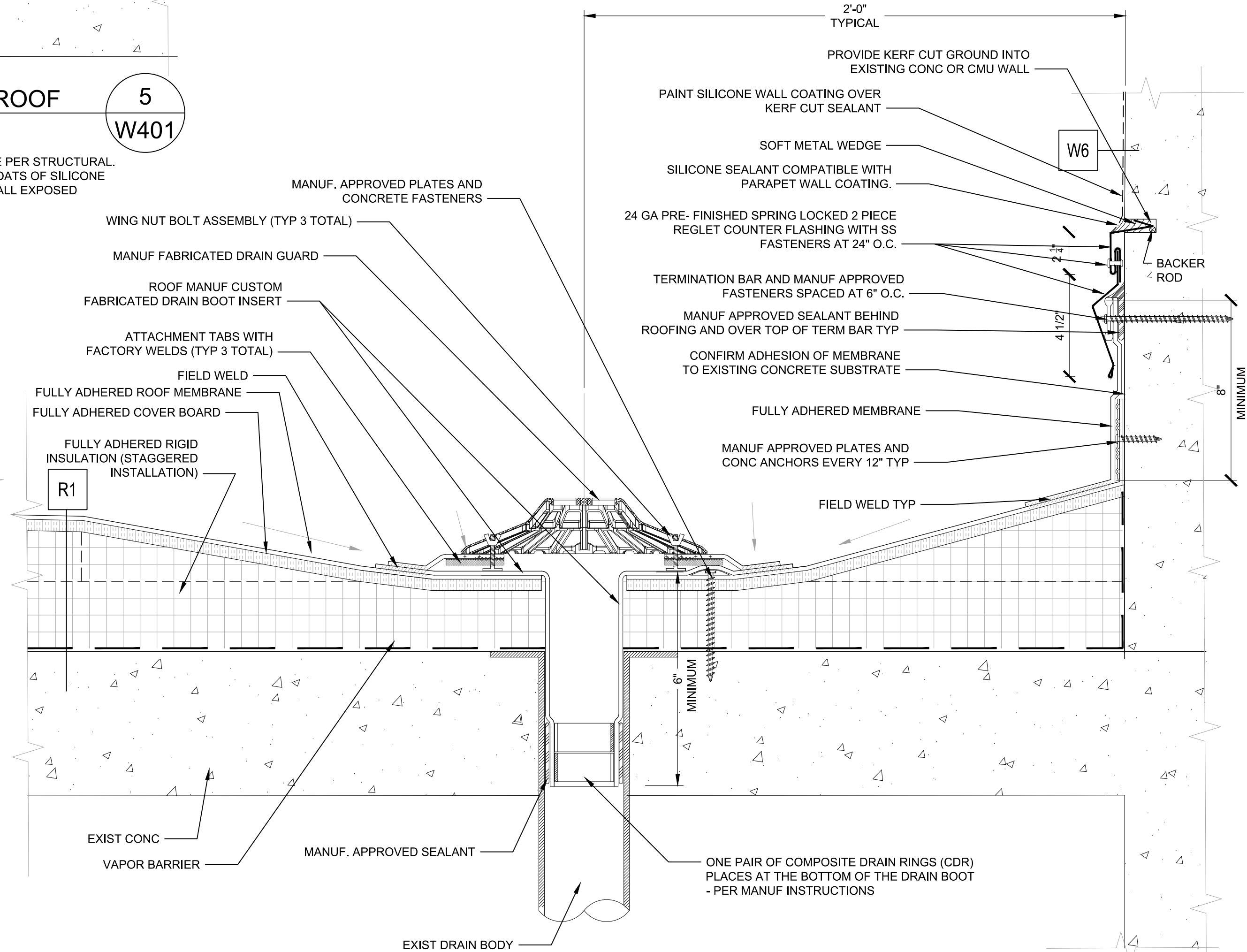
SCALE: 3" = 12" NOTE: DO NOT SCALE DETAILS.



PITCH POCKET AT PARAPET BRACE TO ROOF*

SCALE: 3" = 12" NOTE: DO NOT SCALE DETAILS.

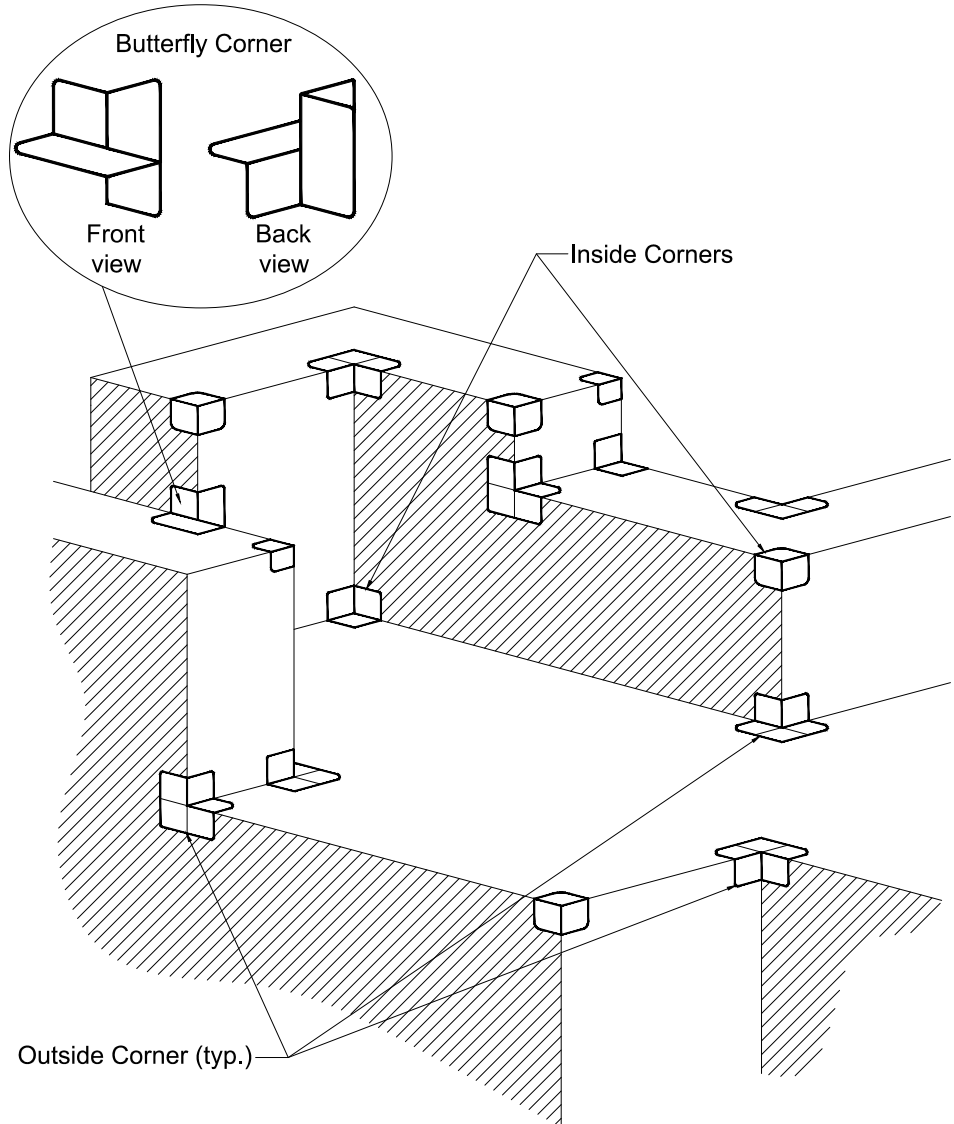
*REFERENCE ALSO 12/W401 FOR CUT AWAY VIEW



ROOF SUMP DRAIN AT WALL INTERSECTION

SCALE: 3" = 12" NOTE: SOME ASSEMBLIES EXPLODED FOR CLARITY. DO NOT SCALE DETAILS.

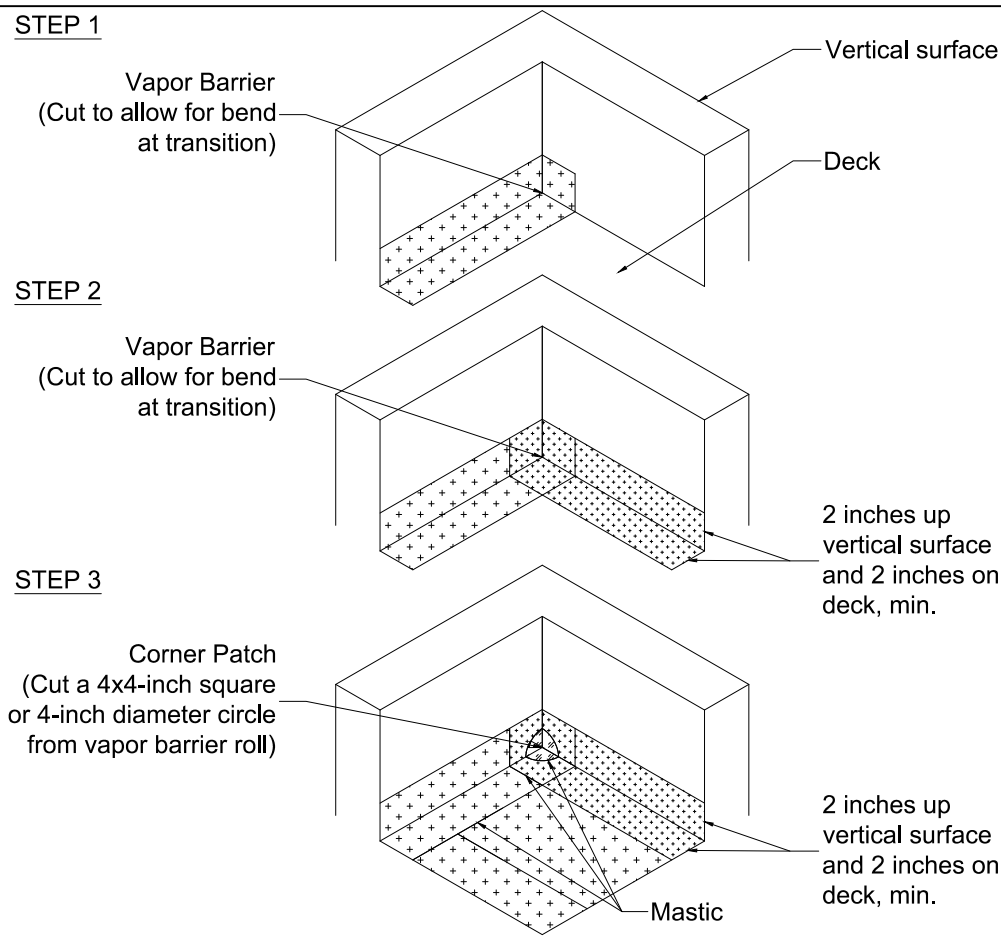
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Note: Ensure that the correct side of the membrane is facing out.

ROOF MEMB INSIDE/OUTSIDE CORNERS

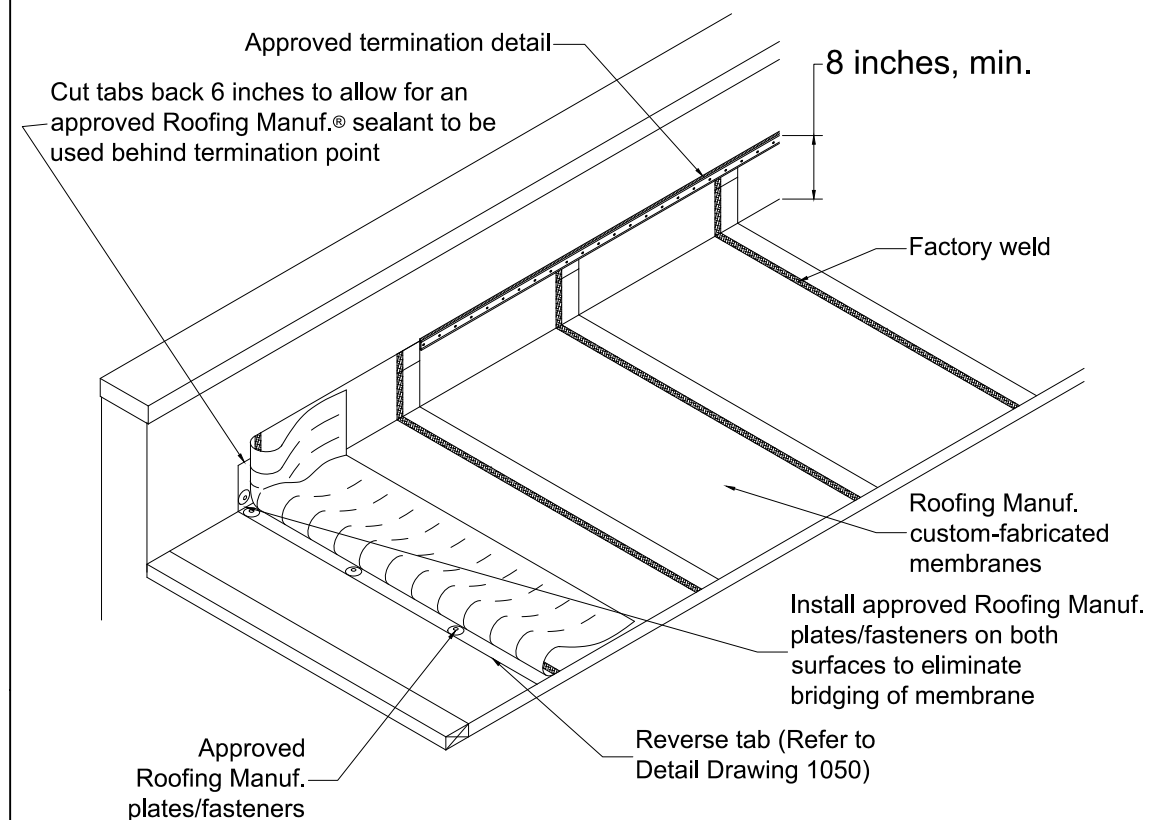
NTS



- Note 1: Primer is not required when roof system is mechanically fastened or when substrate is a steel deck. All other situations require primer.
- Note 2: Overlap each section a minimum of 2 inches as shown above.
- Note 3: Mastic is not required unless Duro-Last® Vapor Barrier will be used as a temporary roof. When required, seal 6 inches out from all T-Lap edges as shown above.
- Note 4: If mastic is used, do not allow it to contact Duro-Last membrane. A proper slip sheet or insulation must be used to separate both products.

ROOF MEMB INSIDE CORNER

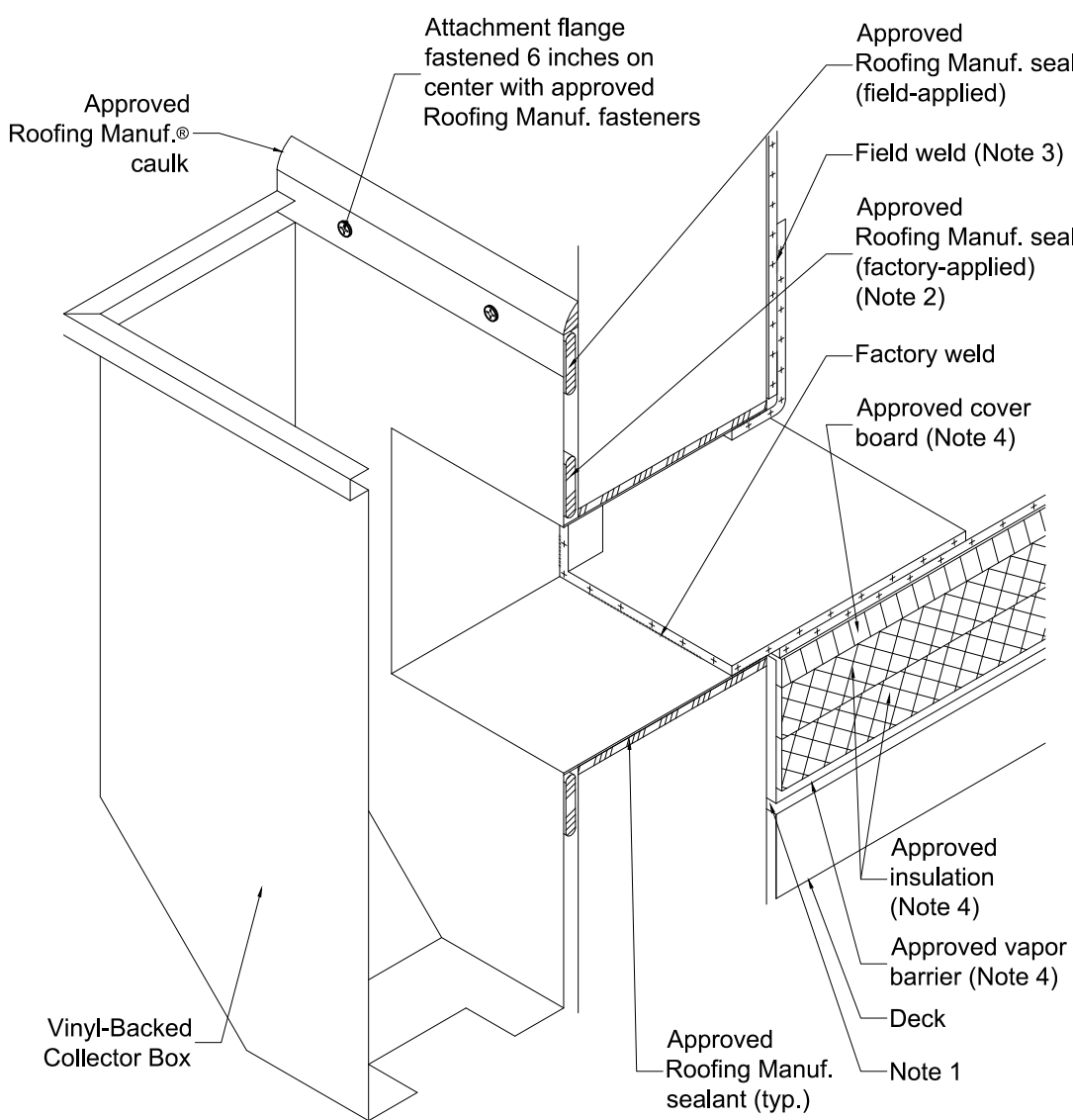
NTS



- Note 1: This detail cannot be used when fastening tab spacing exceeds 60 inches.
- Note 2: This detail is **not** recommended when more than 24 inches of flashing membrane is needed.
- Note 3: Minimum termination height for parapet wall flashing is 8 inches above finished deck. Refer to Detail Drawing 6020.

PERPENDICULAR TAB PARAPET FLASHING

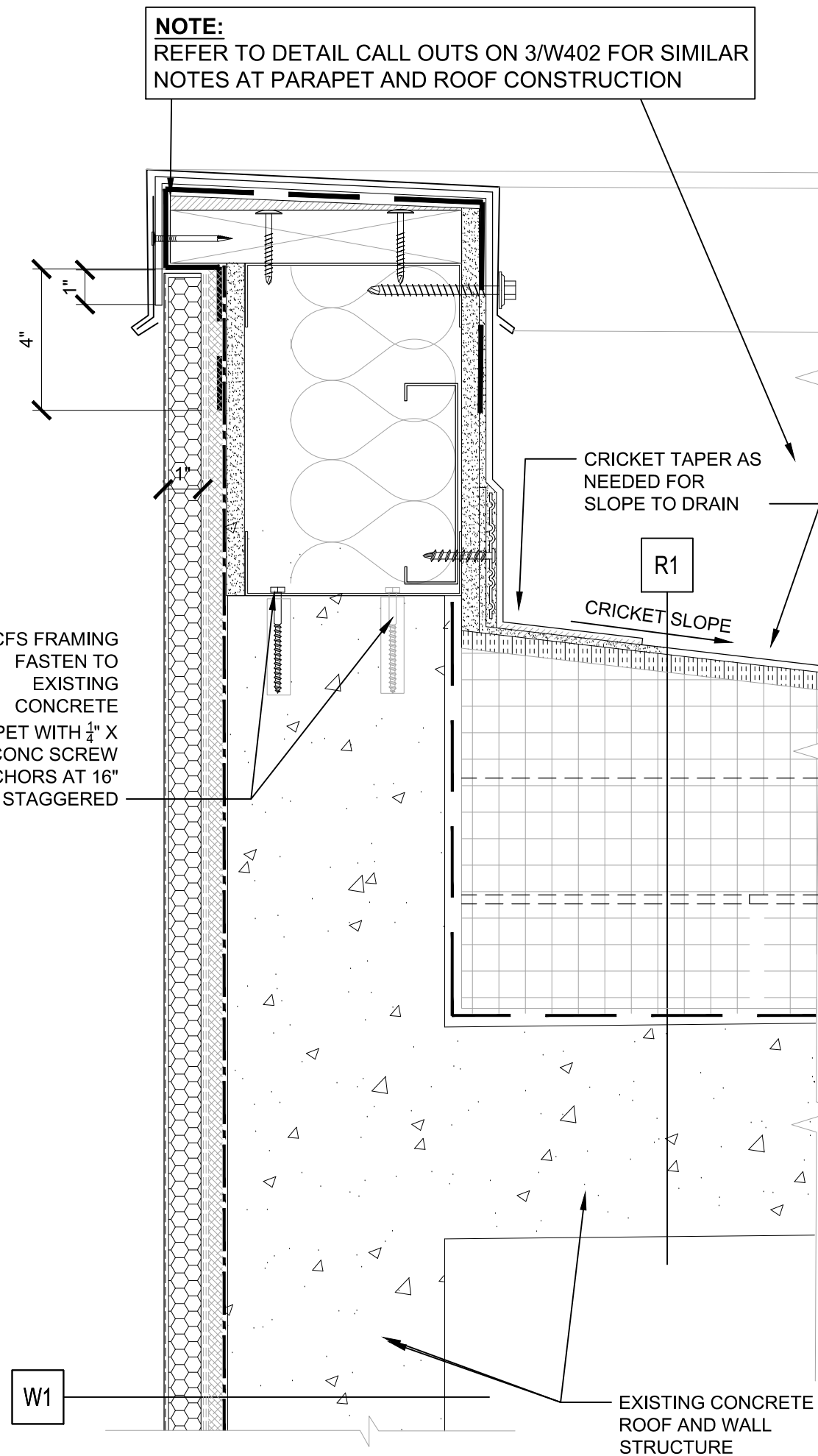
NTS



- Note 1: Precaution must be taken to ensure that all wall-to-deck transitions are sealed.
- Note 2: Collector box is back-sealed with factory-applied sealant around scupper opening. Remove paper backing when ready to install scupper.
- Note 3: All field welds shall be a minimum of 1-1/2 inches wide.
- Note 4: Refer to specifications for vapor barrier, insulation and cover board requirements.

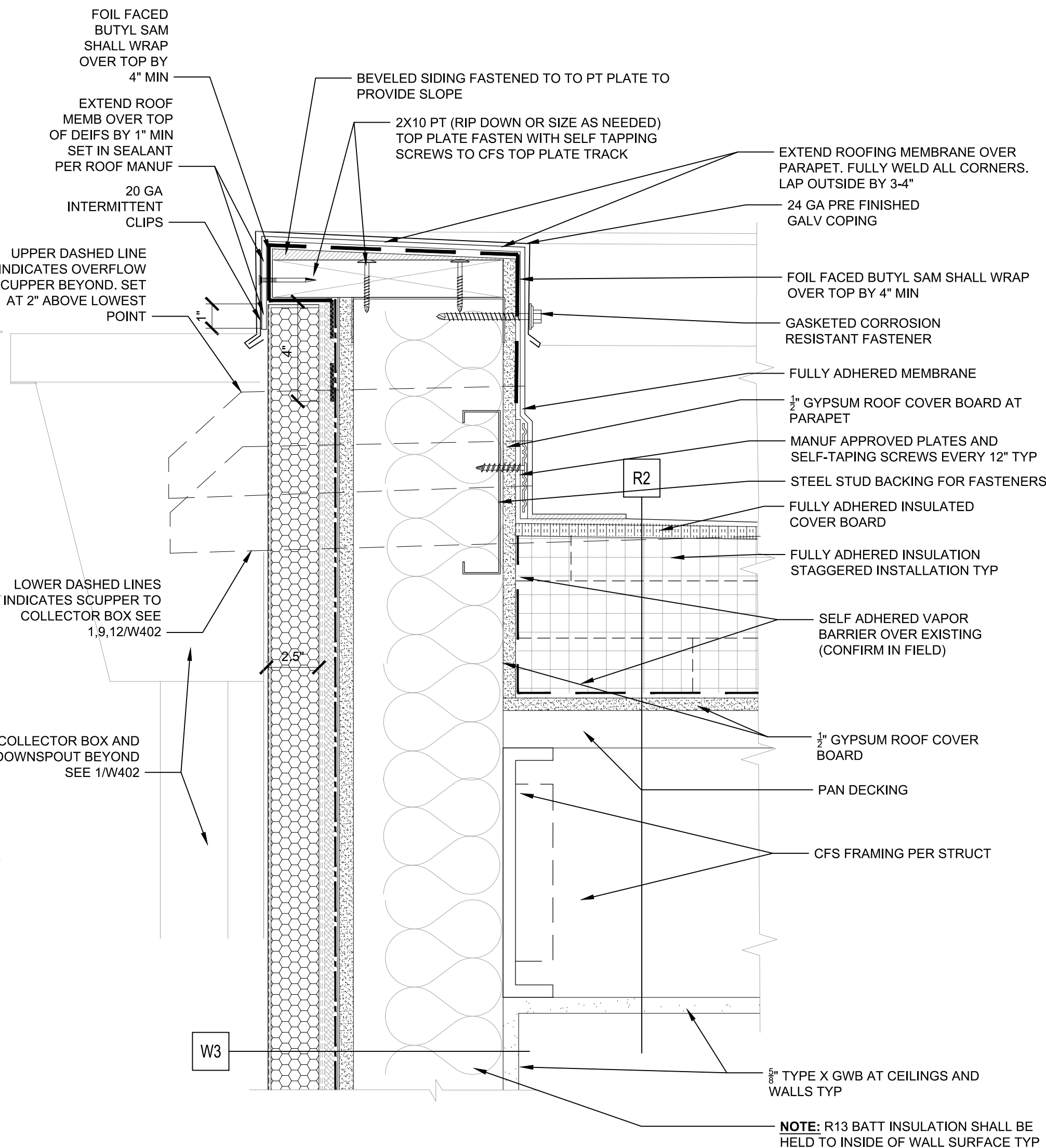
VINYL BACKED COLLECTOR BOX DETAIL CONCEPT AT ROOF

NTS



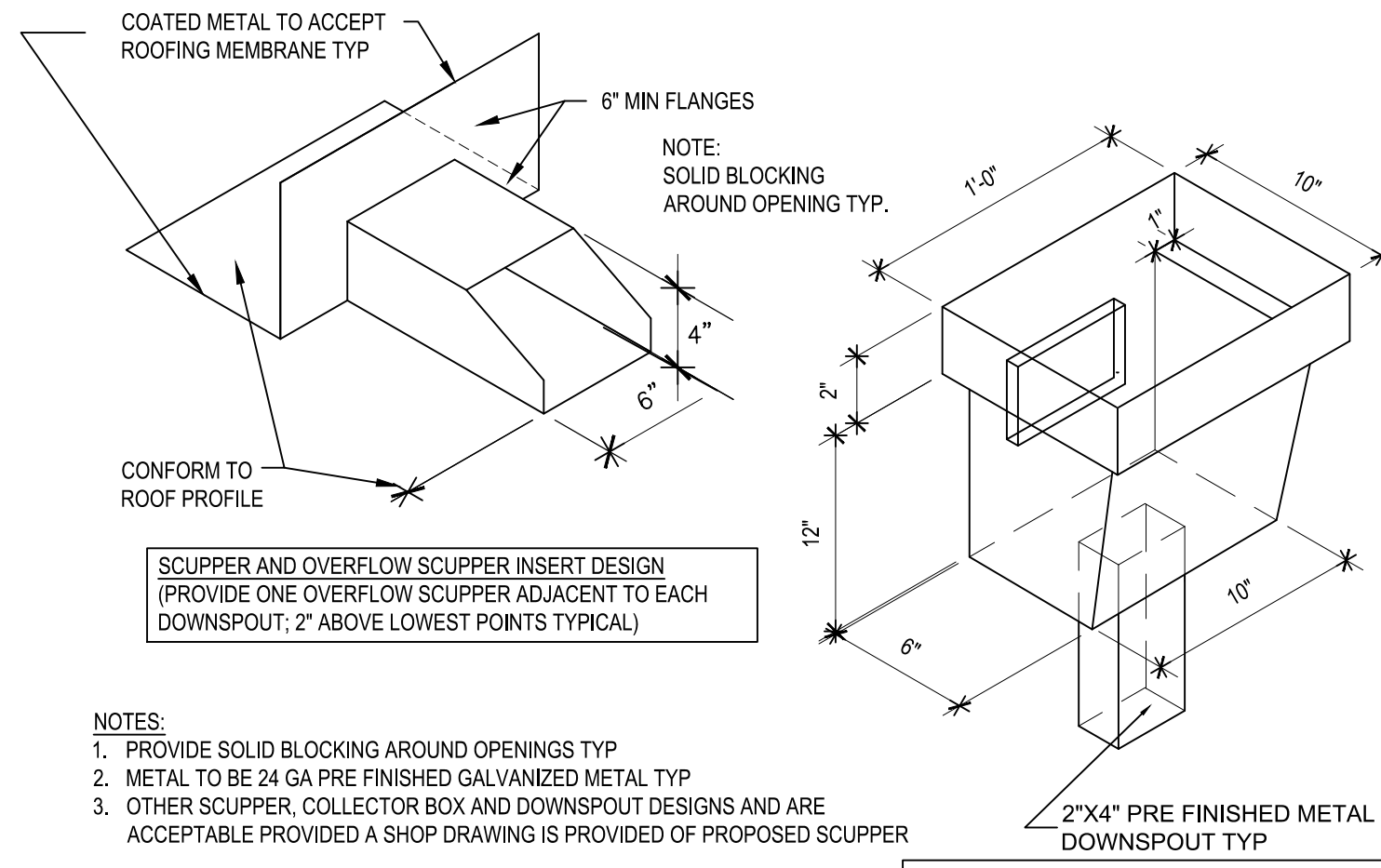
EXISTING ROOF PARAPET

SCALE: 3" = 12" NOTE: DO NOT SCALE DETAILS.



ROOF PARAPET - NEW CONSTRUCTION

SCALE: 3" = 12" NOTE: DO NOT SCALE DETAILS.



SCUPPER AND DOWNSPOUT APPEARANCE WITH DIMENSIONS

- NOTES:
1. PROVIDE SOLID BLOCKING AROUND OPENINGS TYP
 2. METAL TO BE 24 GA PRE FINISHED GALVANIZED METAL TYP
 3. OTHER SCUPPER, COLLECTOR BOX AND DOWNSPOUT DESIGNS AND ARE ACCEPTABLE PROVIDED A SHOP DRAWING IS PROVIDED OF PROPOSED SCUPPER

COLLECTOR BOX AND DOWNSPOUT CONCEPT

1

W402



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206-443-6499



Plasma Contact

ABB Project
22-7763.01
Skagit County Facilities
Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Rooftop Jailhouse Removal*

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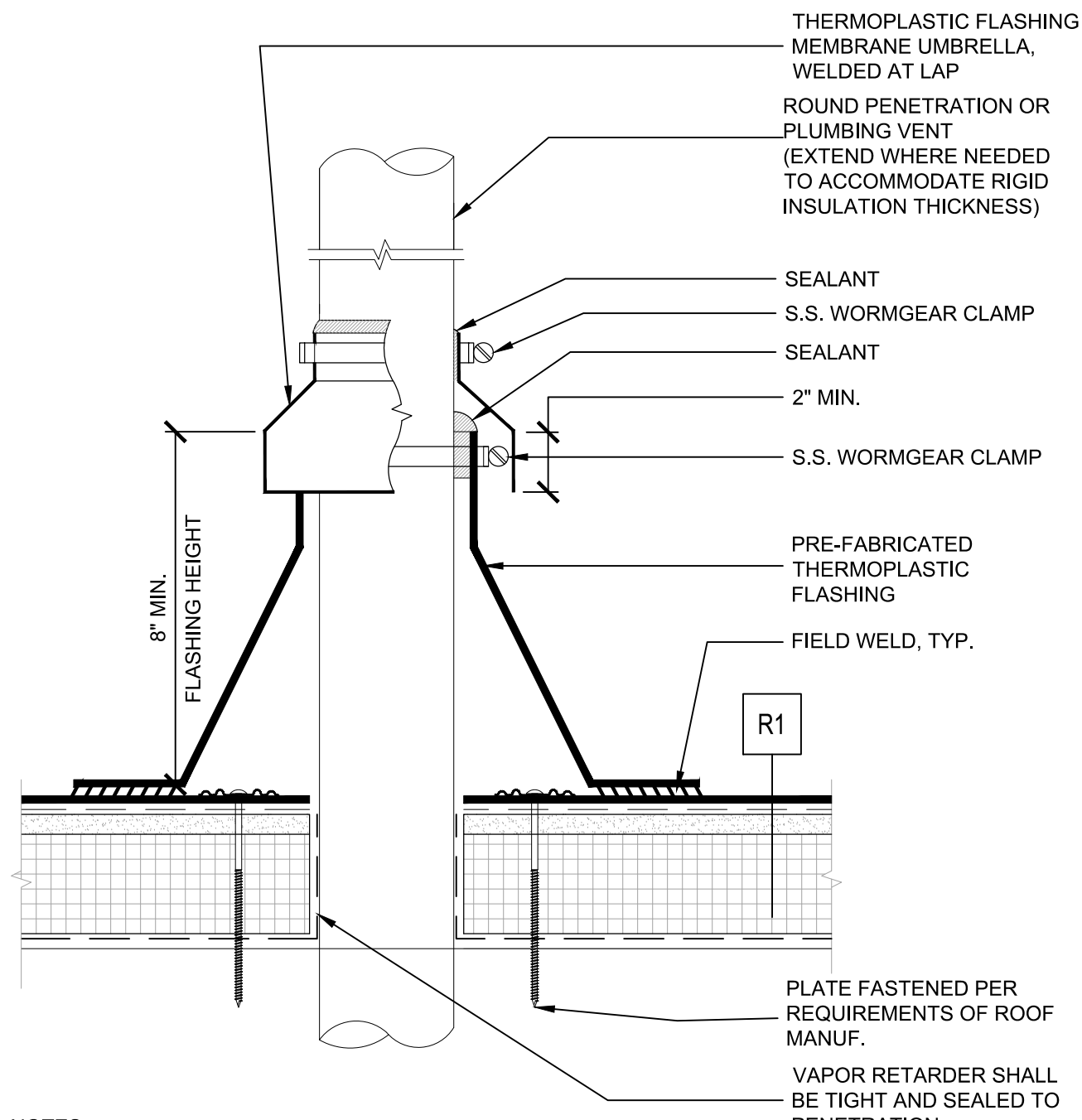
SHEET TITLE

ROOF DETAILS

SCALE: NOTED ON DRAWINGS

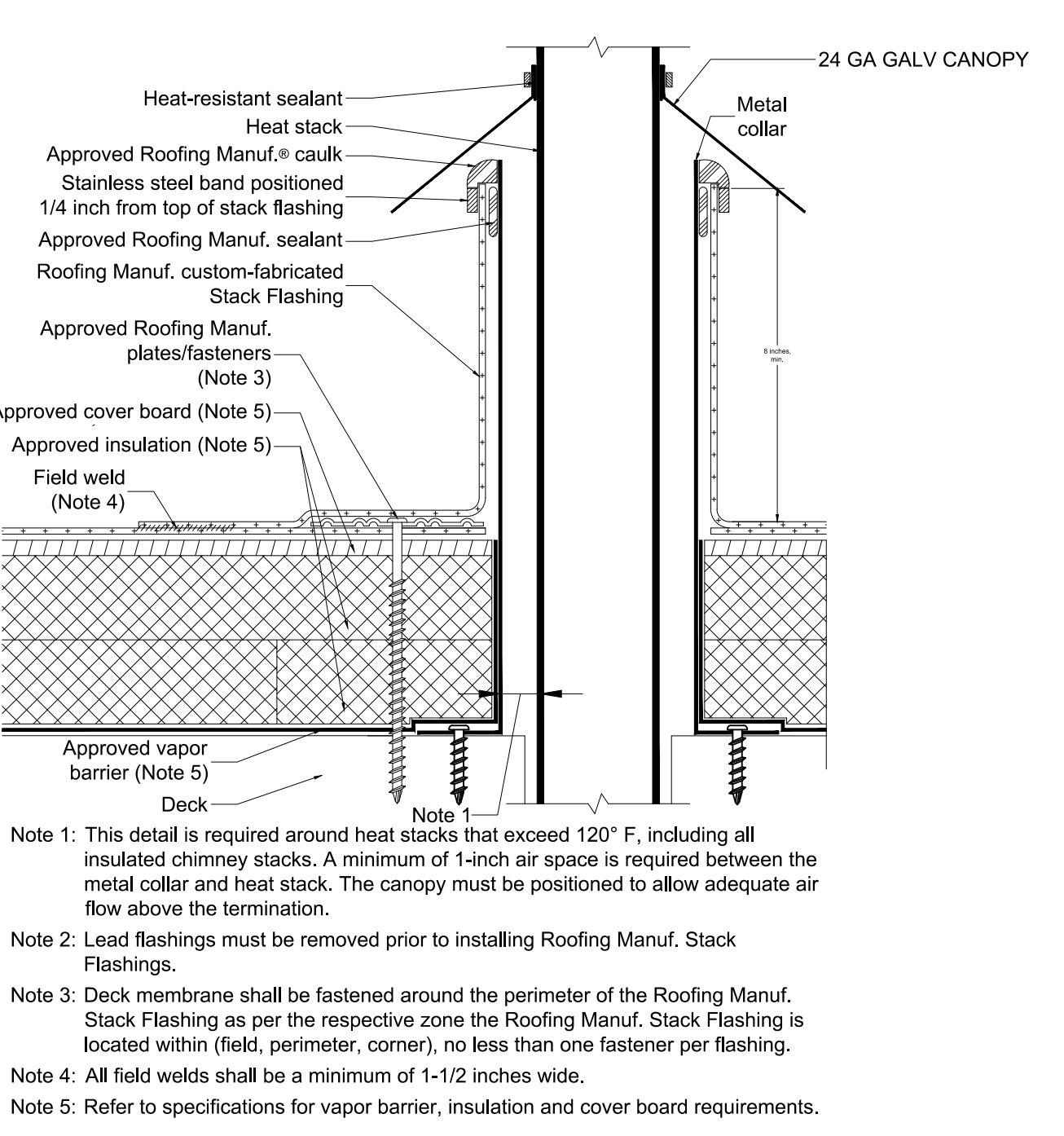
W402

SHEET



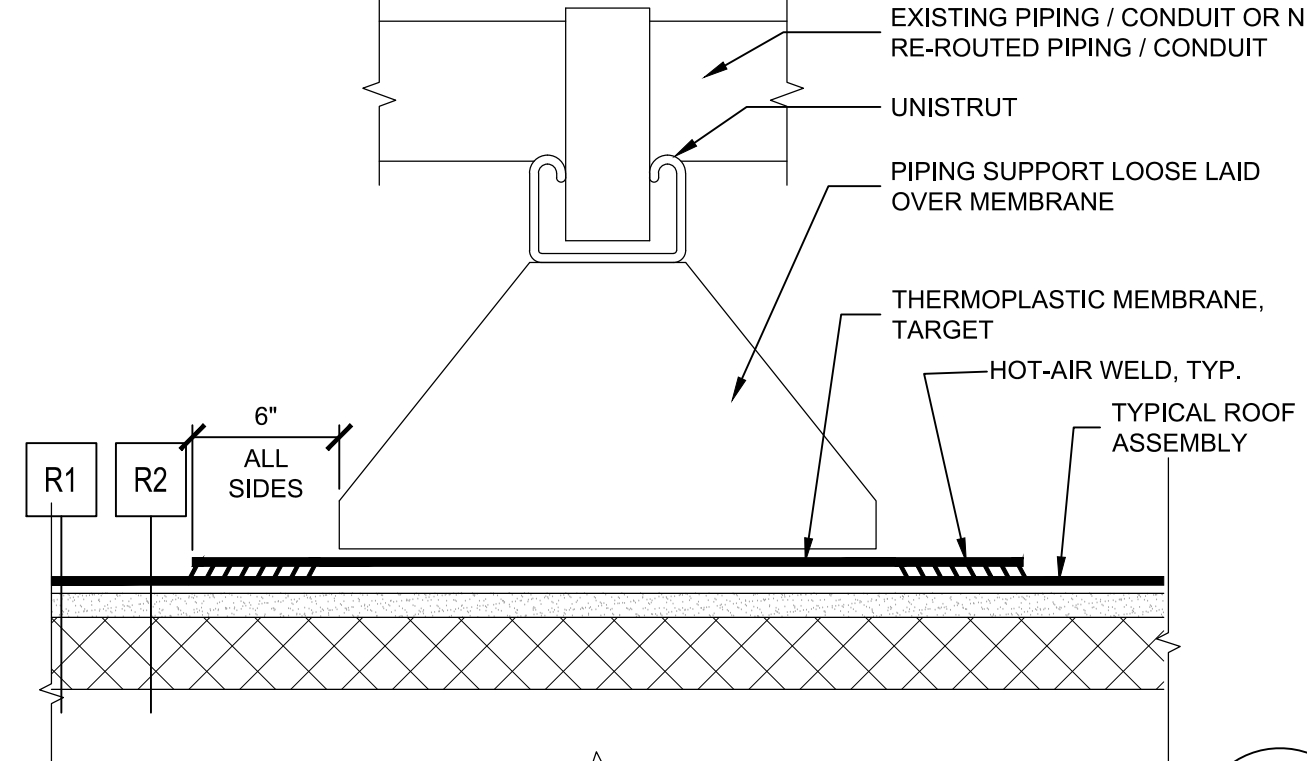
NOTES:
1. RAISE (E) CONDUIT OR EXTEND PENETRATION TO ACHIEVE REQUIRED 8" CLEARANCE HEIGHT.
2. REFER TO SPECIFICATION FOR EXTENSION MATERIAL.

PRE-FABRICATED PLUMBING VENT STACK
NTS
9
W403

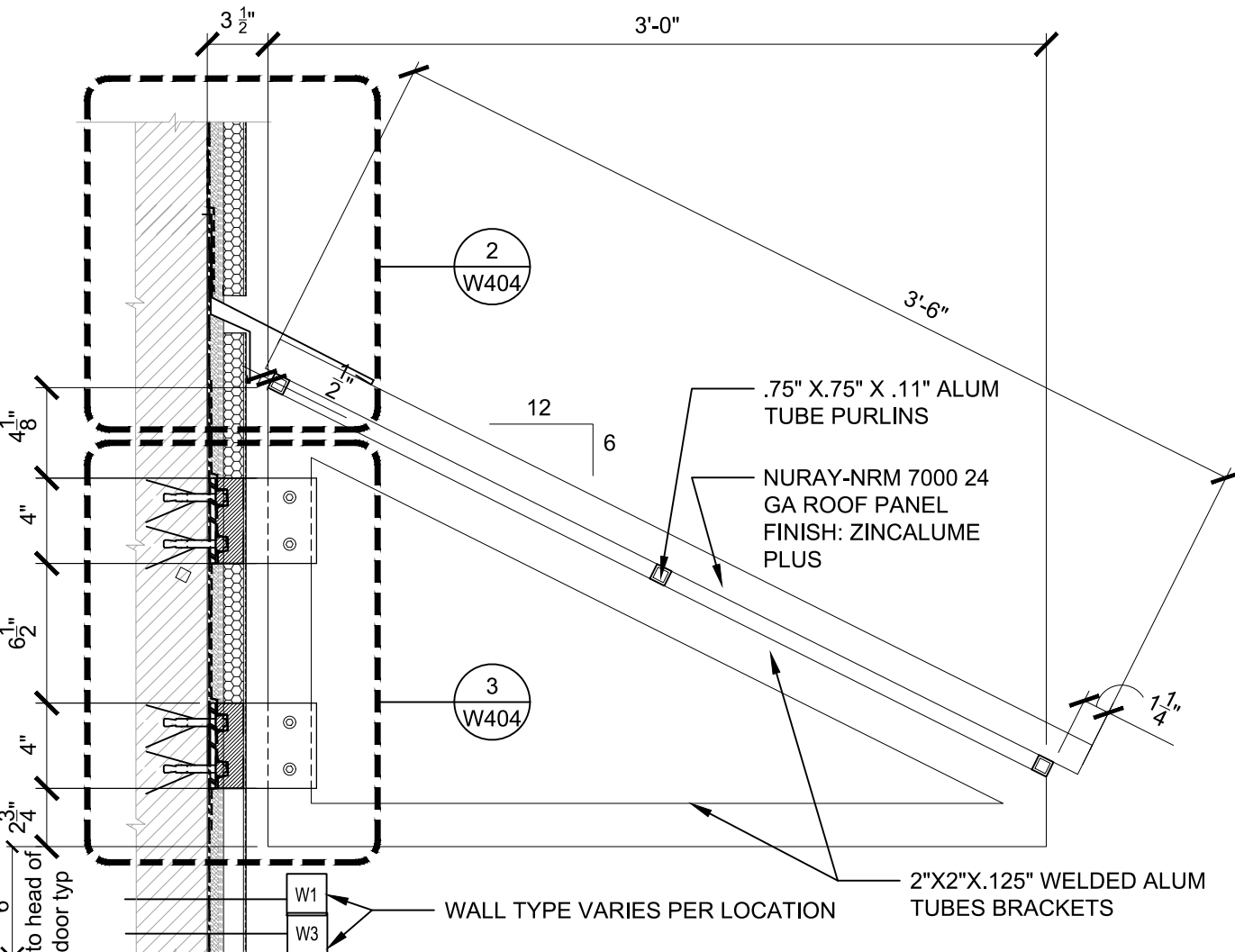


Note 1: This detail is required around heat stacks that exceed 120° F, including all insulated chimney stacks. A minimum of 1-inch air space is required between the metal collar and heat stack. The canopy must be positioned to allow adequate air flow above the termination.
Note 2: Lead flashings must be removed prior to installing Roofing Manuf. Stack Flashings.
Note 3: Deck membrane shall be fastened around the perimeter of the Roofing Manuf. Stack Flashing as per the respective zone the Roofing Manuf. Stack Flashing is located within (field, perimeter, corner), no less than one fastener per flashing.
Note 4: All field welds shall be a minimum of 1-1/2 inches wide.
Note 5: Refer to specifications for vapor barrier, insulation and cover board requirements.

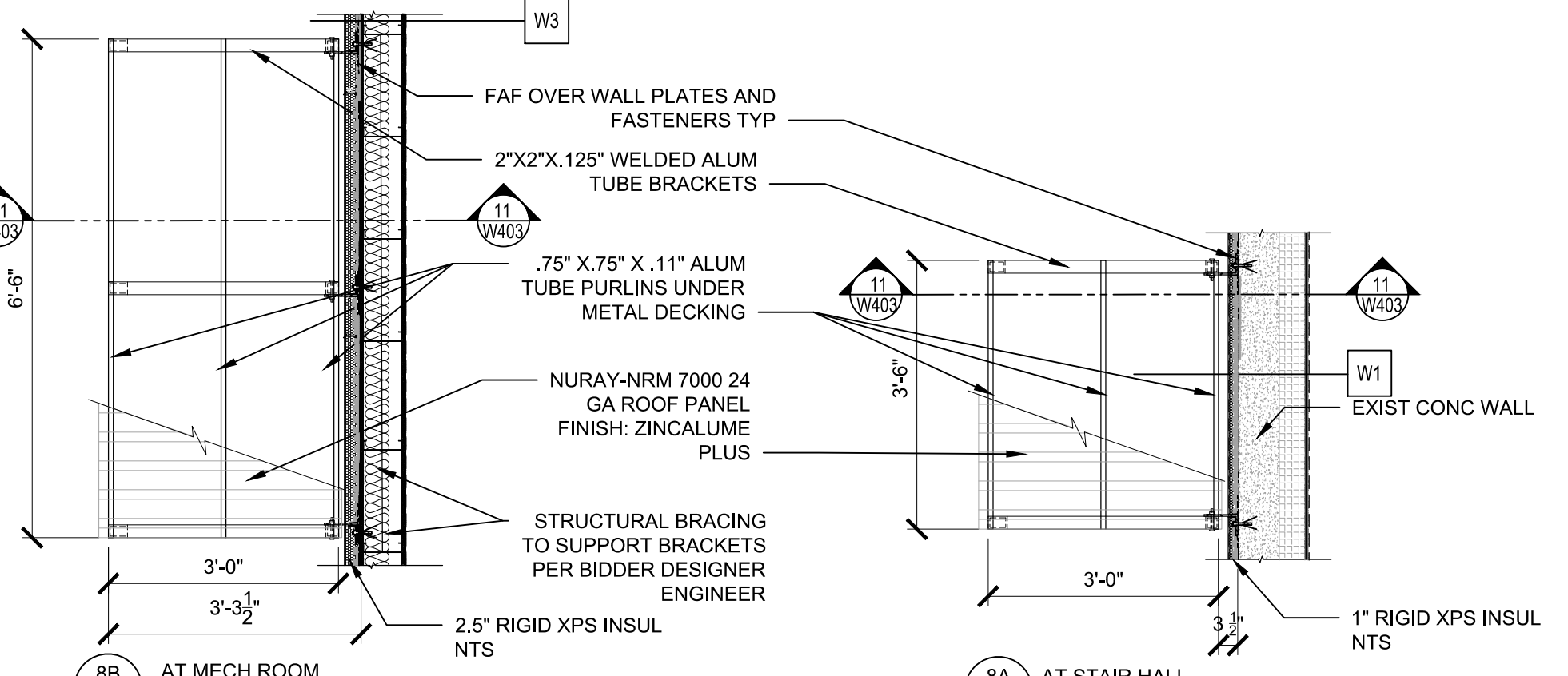
BOILER FLUE ("Heat Stack:) ROOF PENETRATION
NTS
6
W403



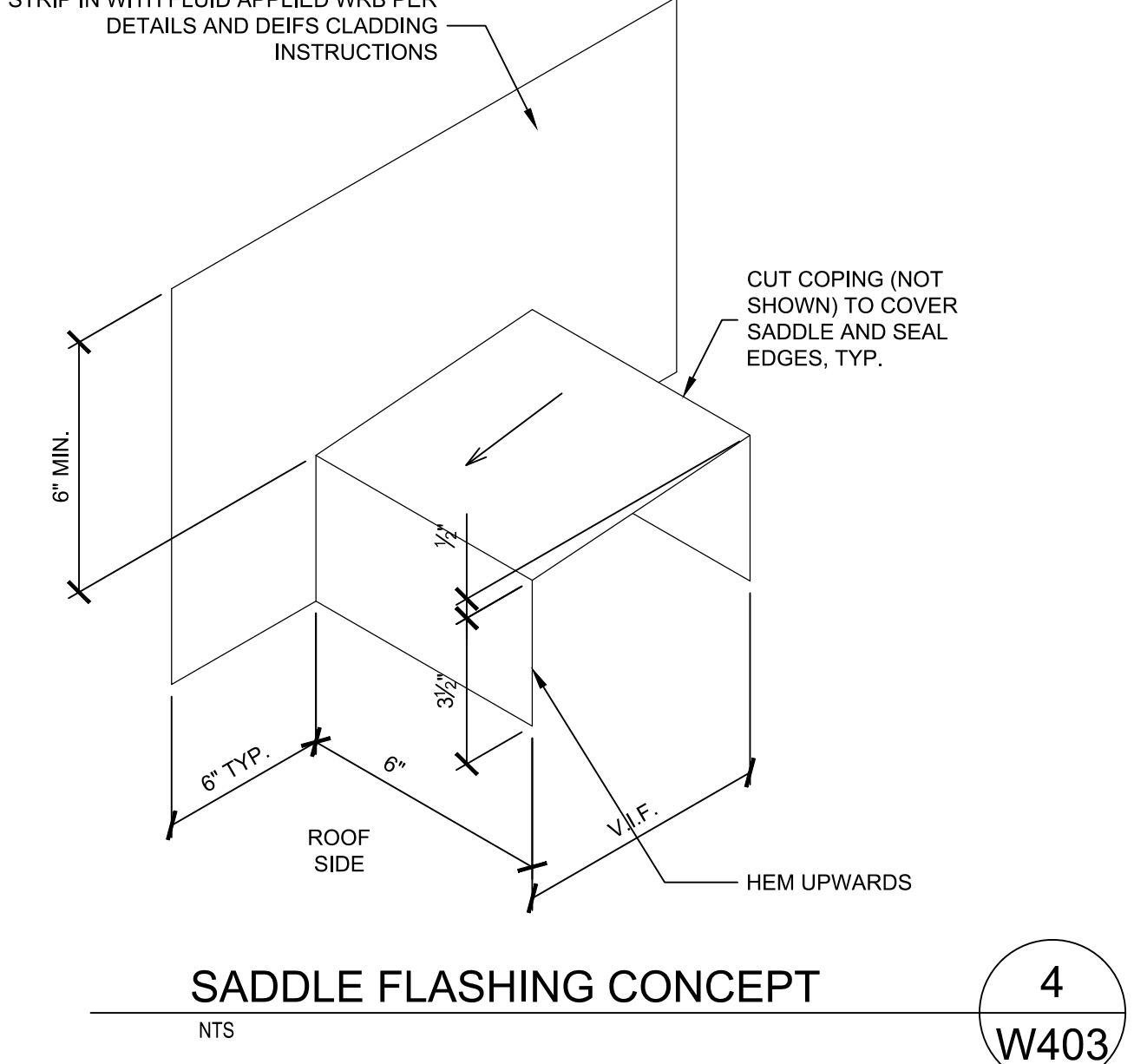
ROOFTOP PIPING CONDUIT SUPPORT
NTS
7
W403



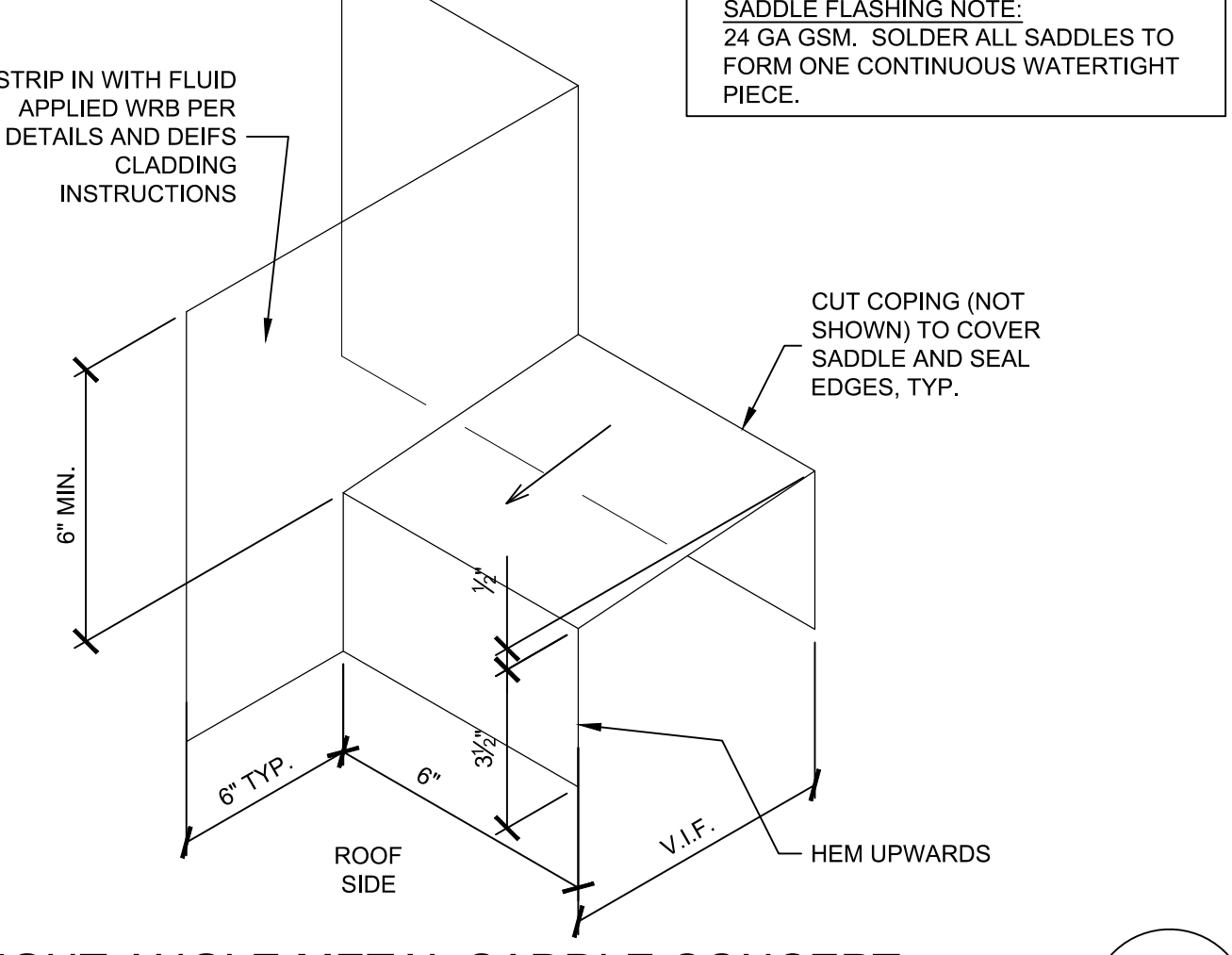
CANOPY DETAIL CONCEPT
1/2" = 1'-0" DO NOT SCALE
NOTE: GC SHALL PROVIDE WA STATE LICENSED DRAWINGS AND CALCULATIONS FOR CANOPY BASED ON CONCEPT DRAWINGS ABOVE
11
W403



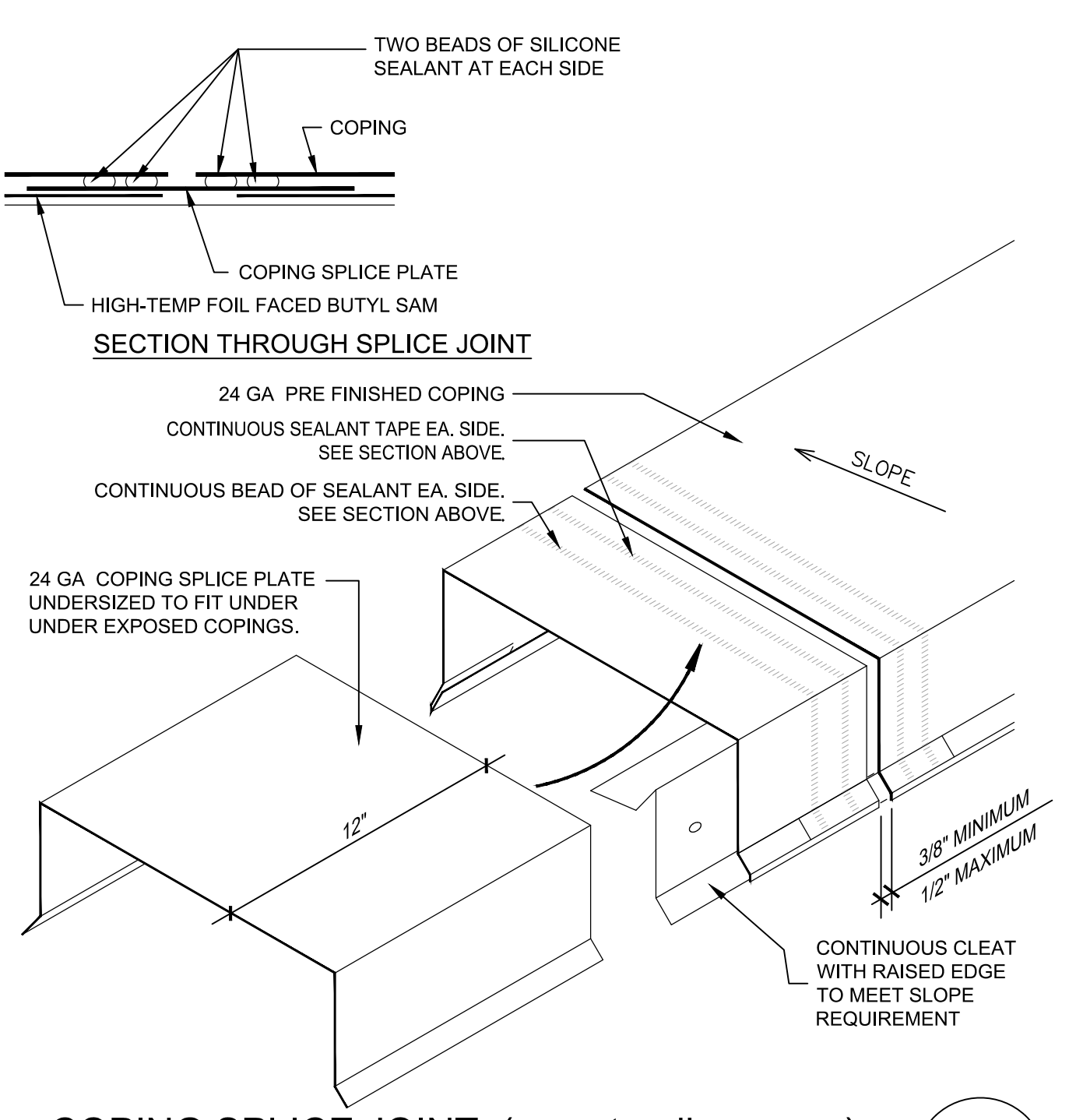
CANOPY PLAN CONCEPTS
1/2" = 1'-0" DO NOT SCALE
NOTE: GC SHALL PROVIDE WA STATE LICENSED DRAWINGS AND CALCULATIONS FOR CANOPY BASED ON CONCEPT DRAWINGS ABOVE
8
W403



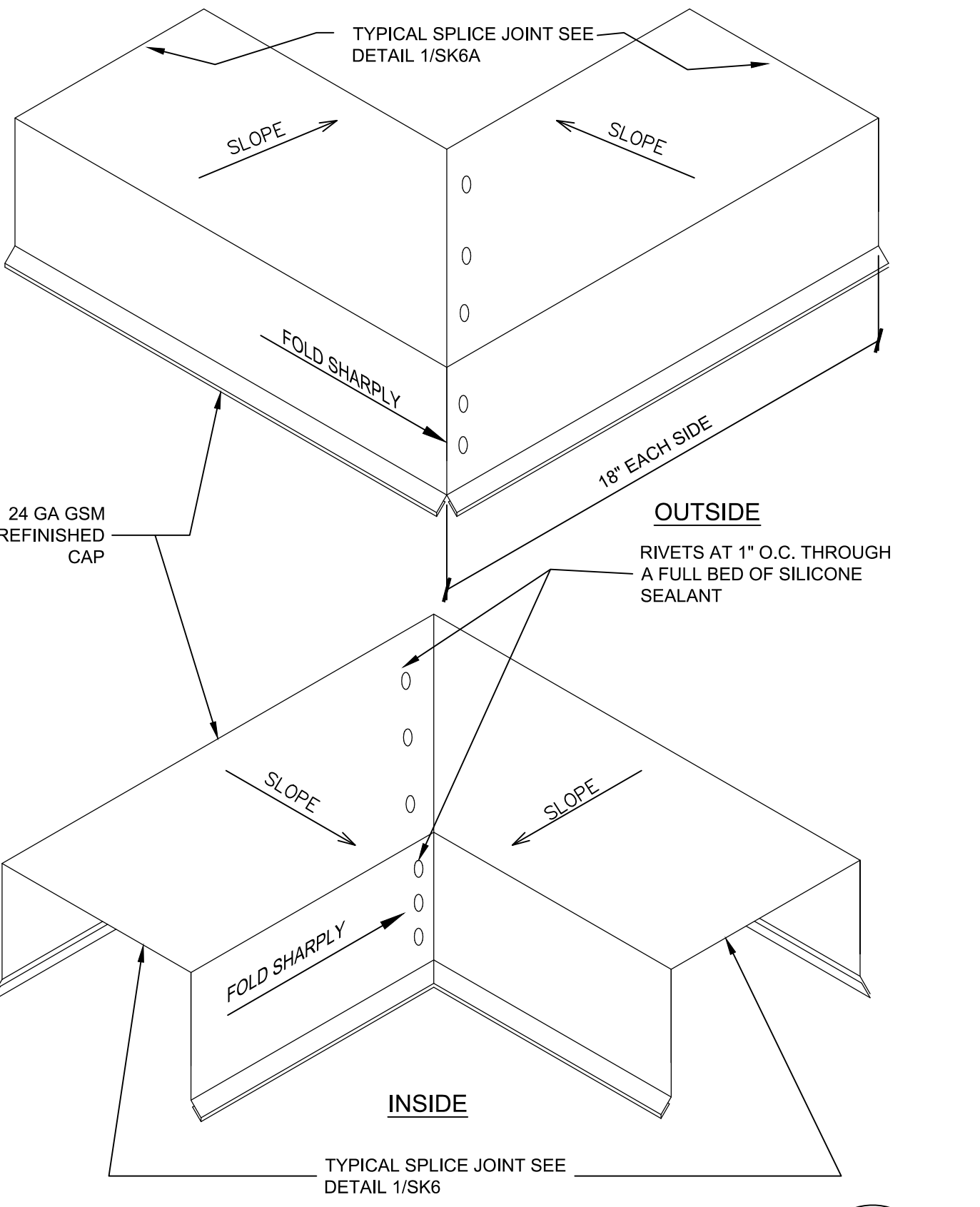
SADDLE FLASHING CONCEPT
NTS
4
W403



RIGHT ANGLE METAL SADDLE CONCEPT
NTS
5
W403



COPING SPLICE JOINT (non standing seam)
NTS
1
W403



COPING INSIDE AND OUTSIDE CORNERS
NTS
3
W403

COPING GENERAL NOTES:
1. ALL EXPOSED METAL SHALL BE PRE-FINISHED 24 GA GALVANIZED METAL
2. PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION INSTALLATION.
3. PROVIDE MOCK UP FOR REVIEW PRIOR TO FINAL INSTALLATION.
4. SLOPE CAP FROM OUTER FACE TO INSIDE USING BEVELED PIECE PER DETAIL
5. CLEATS FOR ATTACHING OUTSIDE OF COPING ARE NOT SHOWN FOR CLARITY.

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Seattle, WA 98119
206-443-6499

PETERSEN THOMAS LAMBERT
STATE OF WASHINGTON
REGISTERED
46585
PROFESSIONAL ENGINEER
Plasma Comfort

ABB Project
22-7763.01

Skagit County Facilities
Project # 3809

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Rooftop Jailhouse Removal

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CITY OF MOUNT VERNON
PERMIT NUMBER
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SHEET TITLE

ROOF & CANOPY DETAILS

SCALE: NOTED ON DRAWINGS

W403

SHEET

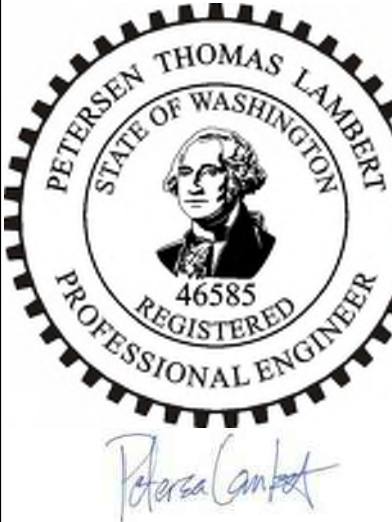


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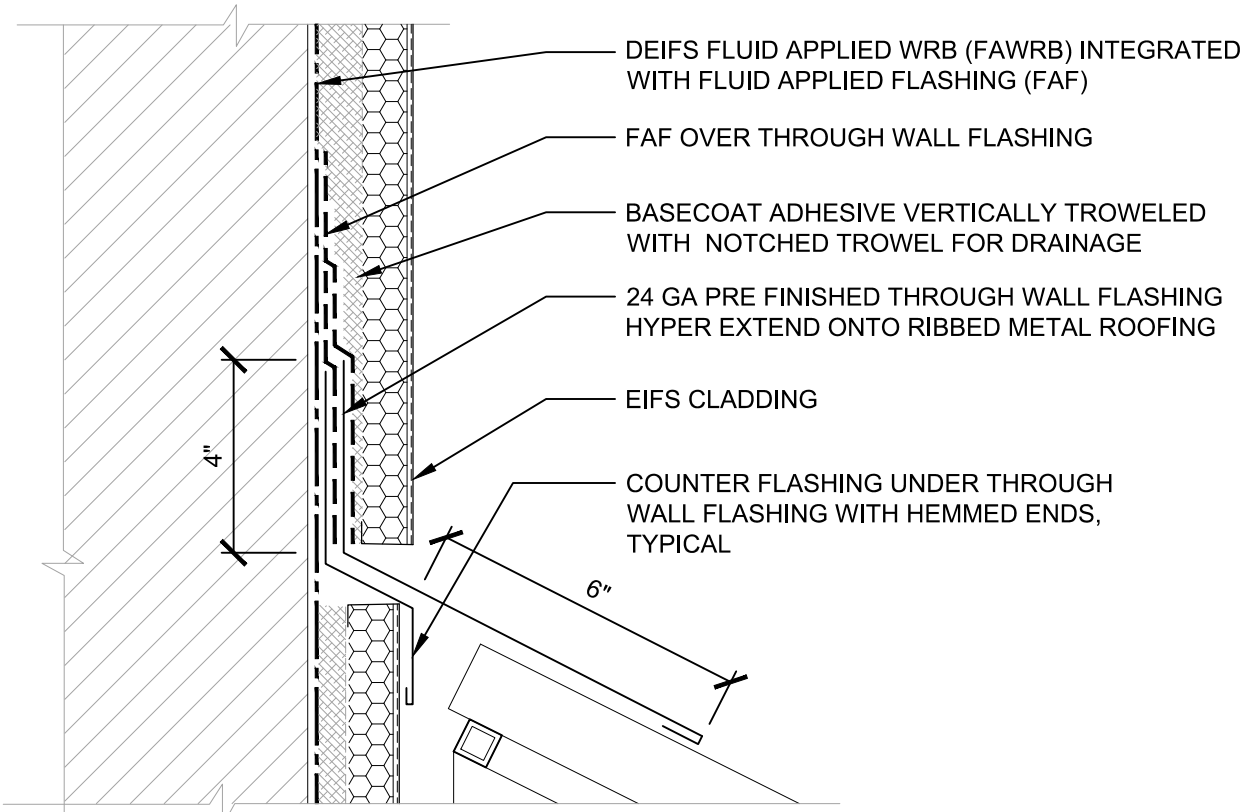
SHEET TITLE

**ROOF &
CANOPY
DETAILS**

SCALE: NOTED ON DRAWINGS

W404

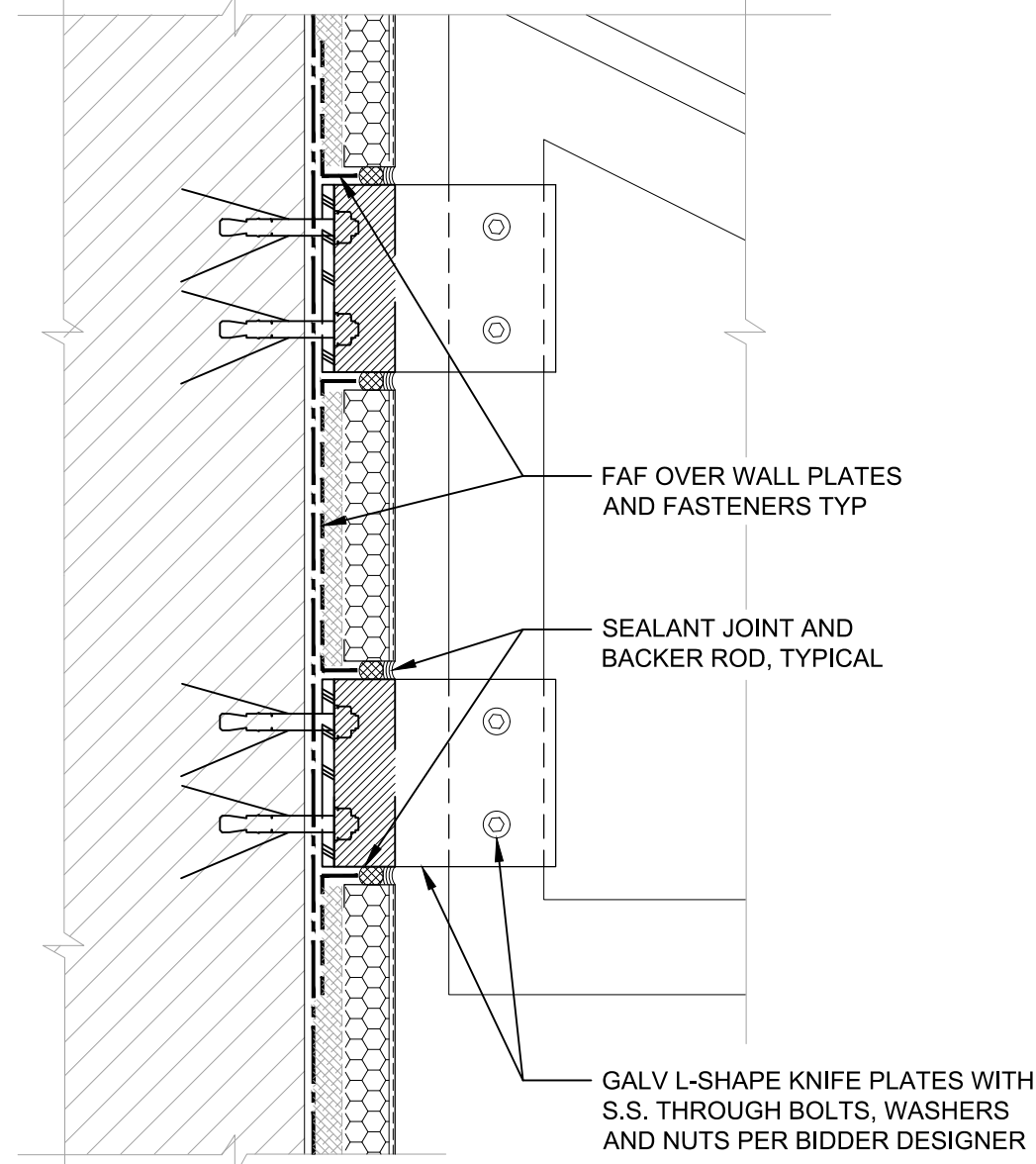
SHEET



WALL TO CANOPY HEAD DETAIL

3" = 1'-0" DO NOT SCALE

2
W404



KNIFEPLATE AT CANOPY

3" = 1'-0" DO NOT SCALE

3
W404

STRUCTURAL SHEETS:

- S0 GENERAL NOTES & DESIGN CRITERIA
S1 PROPOSED ROOF LAYOUT
S2 PARAPET BRACE DETAILS
S3 CFS WALL DETAILS
S4 STRUCTURAL DETAILS
S5 DEMO PLAN AND LOAD MAP

GENERAL STRUCTURAL NOTES:

1. THESE NOTES ARE GENERAL IN NATURE AND ARE INTENDED TO SET MINIMUM STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH THE CONTRACT DOCUMENTS AND HAVE A COPY OF THEM ON SITE AT ALL TIMES.
2. FOR ANY PORTION OF THE CONSTRUCTION WHICH THE CONTRACTOR IS UNABLE TO ASCERTAIN THE REQUIRED CONSTRUCTION OR WHERE CONFLICTS EXIST, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST ADDITIONAL INFORMATION (RFIs) AND/OR CLARIFICATIONS BEFORE CONSTRUCTION.
3. ALL WORK SHALL BE IN STRICT CONFORMANCE WITH THE 2021 INTERNATIONAL BUILDING CODE (IBC) WITH WASHINGTON AMENDMENTS & 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC). ALL BUILDING ELEMENTS AND COMPONENTS NOT SPECIFICALLY DETAILED IN THESE STRUCTURAL CONSTRUCTION DOCUMENTS SHALL BE FABRICATED AND CONSTRUCTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CONTAINED IN THE IBC & IEBC.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE CONSTRUCTION. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
5. THE CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS SHALL ENSURE COORDINATION OF CONTRACTOR SUPPLIED/DESIGNED ELEMENTS AND DEFERRED SUBMITTALS WITH ALL DESIGN DISCIPLINES WITHIN THE CONSTRUCTION SET. COORDINATION SHALL IDENTIFY AND RECONCILE CONFLICTS BETWEEN THE CONTRACTOR SUPPLIED/DESIGNED ELEMENTS AND THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION AND DELIVERY TO THE PROJECT SITE. THE PROJECT ENGINEER SHALL BE NOTIFIED IF CONFLICTS EXIST.
6. THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. METHODS, PROCEDURES, AND SEQUENCE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
7. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD FOR THE STRUCTURE. PROVIDE SHORING AND/OR BRACING WHERE LOADS EXCEED DESIGN CAPACITY AND WHERE STRUCTURES HAVE NOT ATTAINED DESIGN STRENGTH.
8. CLADDING, WATERPROOFING, AND ARCHITECTURAL FEATURES ARE OUTSIDE THE STRUCTURAL SCOPE OF WORK. ANY DEPICTION OF SUCH FEATURES ON THE STRUCTURAL DRAWINGS ARE NOT INTENDED TO BE USED FOR CONSTRUCTION. REPRESENTATION OF SUCH FEATURES ON THESE DRAWINGS MAY OR MAY NOT BE ACCURATE. REFER TO ARCHITECTURAL DRAWINGS AND/OR SPECIFICATIONS.

DESIGN LOADS: PER 2021 IBC WITH WASHINGTON AMENDMENTS & 2021 IEBC

1603.1.2 – ROOF LOADS:	
DEAD LOAD	10 PSF
LIVE LOAD	SEE SNOW LOADS
1603.1.3 – SNOW LOADS:	
FLAT–ROOF SNOW LOAD, P _f	25 PSF
SNOW EXPOSURE FACTOR, C _e	1.0
SNOW LOAD IMPORTANCE FACTOR, I _s	1.2, CATEGORY IV
THERMAL FACTOR, C _t	1.0
PARAPET SNOW LOAD,;	40 PSF
1603.1.4 – WIND DESIGN CRITERIA:	
ULTIMATE DESIGN WIND SPEED, V _{ult}	109 MPH
RISK CATEGORY	IV
WIND EXPOSURE	EXPOSURE C
1603.1.5 – EARTHQUAKE DESIGN CRITERIA:	
RISK CATEGORY	IV
SEISMIC IMPORTANCE FACTOR, I _e	1.50
SPECTRAL ACCELERATION, S _a	1.106 g
SPECTRAL ACCELERATION, S ₁	0.394 g
SITE CLASS	D (DEFAULT)
SPECTRAL RESPONSE COEFFICIENT, S _{ps}	0.885 g
SPECTRAL RESPONSE COEFFICIENT, S _{p1}	0.501 g
SEISMIC DESIGN CATEGORY	CATEGORY D
SEISMIC FORCE RESISTING SYSTEM(S)	BRACED PARAPET
RESPONSE MODIFICATION FACTORS(S), R	2.5 6.5

STRUCTURAL STEEL:

1. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING GRADES, UNLESS NOTED OTHERWISE ON THE PLANS:

SHAPE	ASTM DESIGNATION	YIELD STRESS (F _y)
PLATES & BARS	ASTM A36	36 ksi
W–SECTIONS	ASTM A992	50 ksi
CHANNELS & ANGLES	ASTM A36	36 ksi
HSS (RECTANGULAR)	ASTM A500, GRADE C	50 KSI
HSS (ROUND)	ASTM A500, GRADE C	46 KSI

2. WELD ACCORDING TO CURRENT AWS STANDARDS WITH E70XX ELECTRODES.
3. WELD SIZES SHOWN ON THE DESIGN DRAWINGS ARE CONSIDERED EFFECTIVE WELD SIZES AND SHALL BE INCREASED IN ACCORDANCE WITH AWS AS REQUIRED BY GAPS OR SKEWS BETWEEN COMPONENTS.
4. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT–DIP GALVANIZED, UNLESS NOTED OTHERWISE.
5. ALL STRUCTURAL CONNECTION BOLTS SHALL BE ASTM F3125 GRADE A325, UNLESS NOTED OTHERWISE. HOOKED, HEADED, THREADED, AND NUTTED ANCHOR RODS SHALL BE ASTM F1554 (F_y = 36 ksi), UNLESS NOTED OTHERWISE.
6. CONTACT BETWEEN DISSIMILAR METALS SHALL BE ISOLATED USING PHENOLIC OR OTHERWISE APPROVED ISOLATION HARDWARE

COLD FORM STEEL FRAMING:

1. ALL PRODUCTS SHALL BE MANUFACTURED BY THE CURRENT MEMBERS OF THE STEEL STUD MANUFACTURERS ASSOCIATION
2. ALL GALVANIZED STUDS AND JOISTS SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE MINIMUM REQUIREMENTS OF THE CURRENT A.I.S.I. STANDARDS
3. ALL STRUCTURAL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH THE AMERICAN IRON AND STEEL INSTITUTE (AISI) "SPECIFICATION FOR THE DESIGN OF COLD–FORMED STEEL STRUCTURAL MEMBERS, CURRENT EDITION.
4. PROVIDE ALL ACCESSORIES INCLUDING, BUT NOT LIMITED TO, TRACKS, CLIPS, WEB STIFFENERS, ANCHORS, FASTENING DEVICES, RESILIENT CLIPS, AND OTHER ACCESSORIES REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, AND AS RECOMMENDED BY THE MANUFACTURER FOR THE STEEL MEMBERS USED.
5. FASTENING OF COMPONENTS SHALL BE WITH SELF–DRILLING SCREWS OR WELDING. SCREWS OR WELDS SHALL BE OF SUFFICIENT SIZE TO ENSURE THE STRENGTH OF THE CONNECTION. ALL WELDS OF GALVANIZED STEEL SHALL BE TOUCHED UP WITH A ZINC–RICH PAINT. ALL WELDS OF CARBON SHEET STEEL SHALL BE TOUCHED UP WITH PAINT. WIRE TYING OF COMPONENTS SHALL NOT BE PERMITTED.

PREMANUFACTURED CONNECTION HARDWARE:

1. CONNECTION HARDWARE IS BY THE SIMPSON COMPANY OF SAN LEANDRO, CA. ALL STEEL CONNECTORS SHALL BE GALVANIZED OR BY SOME METHOD MADE CORROSION RESISTANT, UNLESS OTHERWISE INDICATED.
2. PROVIDE BOLTED OR NAILED CONNECTIONS FOR THE MAXIMUM CAPACITY UNLESS NOTED OTHERWISE.
3. CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE EITHER POST HOT–DIP GALVANIZED OR STAINLESS STEEL. FASTENERS SHALL BE OF THE SAME MATERIAL OR PROTECTIVE COATING AS THE CONNECTORS, DO NOT MIX DIFFERING METALS IN THE SAME CONNECTION.
4. ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURER’S INSTRUCTIONS AND RECOMMENDATIONS, UNLESS NOTED OTHERWISE.

CONCRETE:

1. ALL CONCRETE SHALL BE HARD ROCK CONCRETE MEETING REQUIREMENTS OF ACI–301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", MIX PROPORTIONS SHALL BE PER ACI–301, METHOD 2 OR THE ALTERNATE PROCEDURE. SUBMIT MIX DESIGN FOR REVIEW BY STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. STRUCTURAL CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
- | TYPE | f’c | SLUMP | w/c | AIR |
|-------|-----------|-------|------|-----|
| WALLS | 4,500 psi | 1–4" | 0.45 | 6% |
3. ALL CONCRETE EXPOSED TO WEATHER SHALL CONTAIN 6% (±) 1% AIR ENTRAINMENT BY VOLUME. AIR ENTRAINMENT SHALL BE IN CONFORMANCE WITH ASTM C260.
4. COLD WEATHER PLACEMENT SHALL CONFORM TO ACI–306. HOT WEATHER PLACEMENT SHALL CONFORM TO ACI–305. MECHANICALLY VIBRATE ALL FORMED CONCRETE. DO NOT OVER–VIBRATE. PLACE CONCRETE MONOLITHICALLY BETWEEN CONSTRUCTION OR CONTROL JOINTS. PROTECT ALL CONCRETE FROM PREMATURE DRYING.
5. CHAMFER ALL EXTERIOR CORNERS 1/2" UNLESS SHOWN OTHERWISE.
6. SLUMP LIMITS MAY BE INCREASED BY ADDITION OF ADMIXTURES PROVIDED THAT THE WATER/CEMENT RATIO OF THE ORIGINAL MIX DESIGN IS NOT EXCEEDED. WATER REDUCING ADMIXTURE SHALL BE IN CONFORMANCE WITH ASTM494, USED IN CONFORMANCE WITH MANUFACTURER’S INSTRUCTIONS. SUBMIT ADMIXTURES TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
7. CEMENT SHALL BE TYPE I OR II IN CONFORMANCE WITH ASTM C150. AGGREGATES SHALL BE IN CONFORMANCE WITH ASTM C33 AND USE CRUSHED (NOT ROUND) GRAVEL OR STONE. COARSE AGGREGATES SHALL NOT EXCEED 3/4". WATER SHALL BE CLEAN AND POTABLE.
8. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. GRADE 40 MAY BE USED FOR #3 AND SMALLER TIES AND STIRRUPS. DETAIL AND PLACE ACCORDING TO ACI MANUAL SP–66. BENDING OF REINFORCING STEEL IN THE FIELD IS NOT PERMITTED WITHOUT APPROVAL BY EOR. REBENDING OR STRAIGHTENING OF REINFORCING OR BENDING OF REINFORCING STEEL CAST INTO CONCRETE IS NOT ALLOWED.
9. UNLESS OTHERWISE NOTED, MINIMUM COVER SHALL BE 1 1/2" FOR #5 AND SMALLER BARS, 2" FOR #6 AND LARGER BARS AND 3" WHEN POURED AGAINST EARTH. SUPPORT REINFORCEMENT WITH APPROVED CHAIRS, SPACERS, OR TIES.
10. PROVIDE MINIMUM 48 BAR DIAMETERS AT SPLICES. NO MORE THAN 50% OF REINFORCING SHALL BE SPLICED AT ANY LOCATION. UNLESS OTHERWISE NOTED, BEND ALL HORIZONTAL REINFORCING A MINIMUM OF 2'–0" AT CORNERS AND WALL/FOOTING INTERSECTIONS WITH MIN. EMBEDMENT BEYOND INTERFACE PER DEVELOPMENT LENGTH SPECIFIED IN ACI 318.
11. FORMWORK SHALL BE IN ACCORDANCE WITH ACI–347 "GUIDE TO FORMWORK FOR CONCRETE". FORMS SHALL BE DESIGNED BY THE CONTRACTOR. BRACING SHALL BE PROVIDED AS REQUIRED OR UNTIL THE CONCRETE HAS REACHED ITS SPECIFIED 28–DAY STRENGTH. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. FORMWORK, SUPPORTS, AND SHORING SHALL PROVIDE FINISHED CONCRETE SURFACES AT ALL FACES: LEVEL, PLUMB, AND TRUE TO DIMENSIONS AND ELEVATIONS SHOWN IN THE DRAWINGS.

POST–INSTALLED CONCRETE ANCHORS:

1. ADHESIVE:
- 1.1. ADHESIVE ANCHORS SHALL BE INSTALLED BY QUALIFIED PERSONNEL TRAINED TO INSTALL ADHESIVE ANCHORS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND WITH STRICT ADHERENCE TO THE PROVISIONS WITHIN THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.
- 1.2. AT THE TIME OF ANCHOR INSTALLATION, IN ACCORDANCE WITH ACI 318–19 SECTION 17.1.2, ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MINIMUM AGE OF 21 DAYS.
- 1.3. WHERE THE AUTHORITY HAVING JURISDICTION OVER THIS PROJECT REQUIRES ADHERENCE TO ACI 318–19 SECTION 17.8.2.2, INSTALLATION OF ADHESIVE ANCHORS IN HORIZONTAL TO VERTICALLY OVERHEAD ORIENTATION SHALL BE DONE BY A CERTIFIED ADHESIVE ANCHOR INSTALLER (AA) AS CERTIFIED THROUGH ACI AND IN ACCORDANCE WITH ACI 318–19 SECTION 17.8.2.2. PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF INSTALLATION. NOTE: THE STATE OF OREGON DOES NOT REQUIRE ADHERENCE TO ACI 318–19 SECTION 17.8.2.2.
2. MECHANICAL:
- 2.1. MECHANICAL ANCHORS SHALL BE INSTALLED BY QUALIFIED PERSONNEL TRAINED TO INSTALL MECHANICAL ANCHORS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND WITH STRICT ADHERENCE TO THE PROVISIONS WITHIN THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

SHEATHING:

1. MINIMUM PANEL THICKNESS SHALL BE ¾" OF SURE–BOARD SERIES 200.
2. INSTALLATION OF THE PANEL SHALL BE PERFORMED PER IAPMO ES ER–0126
3. BLOCK PANEL EDGES WITH 2"X43 MIL FLAT STRAP. ATTACH TO THE INTERMEDIATE SUPPORTS WITH #8 SCREWS @ 12" O.C.

STRUCTURAL OBSERVATION REQUIREMENTS:

1. THE OWNER SHALL EMPLOY THE ENGINEER OF RECORD OR AN ALTERNATE OREGON LICENSED PROFESSIONAL ENGINEER, APPROVED BY THE ENGINEER OF RECORD, TO PERFORM STRUCTURAL OBSERVATIONS IN ACCORDANCE WITH SECTION 1704.6 OF THE INTERNATIONAL BUILDING CODE.
2. STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM BY A REGISTERED DESIGN PROFESSIONAL FOR GENERAL CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS AT SIGNIFICANT CONSTRUCTION STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR ANY OTHER INSPECTION CRITERIA, INCLUDING SPECIAL INSPECTION, AS REQUIRED BY THE BUILDING OFFICIAL OR AS INDICATED WITHIN THE INTERNATIONAL BUILDING CODE.
3. DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER AND THE BUILDING OFFICIAL (AND THE ENGINEER OF RECORD IF AN ALTERNATE ENGINEER IS USED FOR STRUCTURAL OBSERVATION). AT THE CONCLUSION OF THE STRUCTURAL WORK INCLUDED WITHIN THE PERMIT, THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL AND THE OWNER (AND THE ENGINEER OF RECORD IF AN ALTERNATE ENGINEER IS USED FOR STRUCTURAL OBSERVATION) A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFY ANY REPORTED DEFICIENCIES WHICH, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.
4. THE CONTRACTOR SHALL MAKE AVAILABLE ALL MEANS AND METHODS NECESSARY FOR THE STRUCTURAL OBSERVER TO PERFORM THE REQUIRED STRUCTURAL OBSERVATIONS. IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND STRUCTURAL OBSERVER A MINIMUM OF 48 HOURS BEFORE THE TIME AT WHICH THE SPECIFIED STRUCTURAL OBSERVATIONS MAY BE PERFORMED. IN ADDITION THE CONTRACTOR SHALL UPDATE THE STRUCTURAL OBSERVER OF THE CONSTRUCTION PROGRESS.

SUBMITTALS:

THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD AND THE BUILDING OFFICIAL SUBMITTALS FOR APPROVAL , PRIOR TO CONSTRUCTION, FOR THE FOLLOWING ITEMS:

1. STEEL FABRICATION SHOP DRAWINGS FOR THE BRACES AND BRACKETS, MATERIAL CERTIFICATIONS & WELDING PROCEDURES
2. COLD FORM STEEL FABRICATION
3. CONCRETE MIX DESIGN AND PROPOSED ADMIXTURES
4. GROUT MIX DESIGN
5. DEMOLITION PLAN INCLUDING METHODS, EQUIPMENT ETC. & DEMOLITION SEQUENCE

JOB SITE CONDITIONS AND SAFETY:

1. CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF DEMOLITION AND CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE ENGINEER AND IT'S REPRESENTATIVE HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

SPECIAL INSPECTIONS:

1. AN INDEPENDENT TESTING LABORATORY CHOSEN BY THE OWNER SHALL PROVIDE SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE FOR THE STRUCTURAL SYSTEMS OUTLINED HEREIN. ALL OTHER ELEMENTS SHALL COMPLY WITH THE SPECIAL INSPECTION & TESTING REQUIREMENTS OF CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE. REQUIRED SPECIAL INSPECTION OF STRUCTURAL SYSTEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS INCLUDE THE FOLLOWING AREAS OF WORK:
- 1.1. CONCRETE:
- 1.1.1. CYLINDER TESTS, SLUMP TEST, AIR CONTENT
- 1.1.2. DURING PLACEMENT OF REINFORCING STEEL & ANCHOR BOLTS
- 1.1.3. DURING PLACEMENT OF CAST IN PLACE CONCRETE (CIP)
- 1.2. POST–INSTALLED ADHESIVE CONCRETE ANCHORS
- 1.3. POST–INSTALLED MECHANICAL CONCRETE ANCHORS
- 1.4. STRUCTURAL STEEL INCLUDING PARAPET BRACES AND BRACKETS
- 1.5. STRUCTURAL WELDING, DOES NOT APPLY TO QUALIFIED SHOP WELDS. NOTE TO BE CONSIDERED QUALIFIED SHOP WELDS THEY MUST BE PERFORMED IN A PRE–QUALIFIED SHOP AS RECORDED BY THE JURISDICTION OF RECORD, A WRITTEN VERIFICATION OF PRE–QUALIFICATION WITH THE JURISDICTION OF RECORD IS REQUIRED PRIOR TO PERFORMING ANY STRUCTURAL WELDING IN A SHOP WITHOUT SPECIAL INSPECTION.
- 1.6. HIGH STRENGTH BOLTING
2. THE TESTING AGENCY SHALL PROVIDE THE ENGINEER OF RECORD, THE OWNER, AND THE BUILDING OFFICIAL COPIES OF ALL RELEVANT TEST REPORTS AND SPECIAL INSPECTIONS.



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PSE
PETERSON STRUCTURAL ENGINEERS

708 Broadway
Suite 110
Tacoma, WA 98402
(253) 850-2140
Date: 03/10/2023 PSE#: 2202-0058

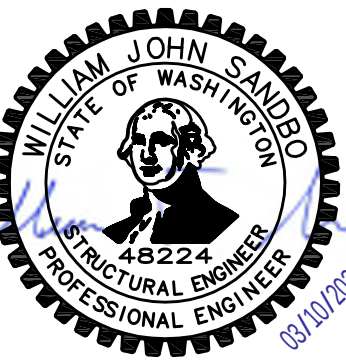


ABB Project # 22-7763.01

Skagit County Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Rooftop Jailhouse Removal*

OWNER NAME / ADDRESS:
*Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*

PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*

PROPERTY MANAGER:
*Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen*

Mark	Description	Date
	PERMIT SET	03/10/23
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT
PERMIT # TBD

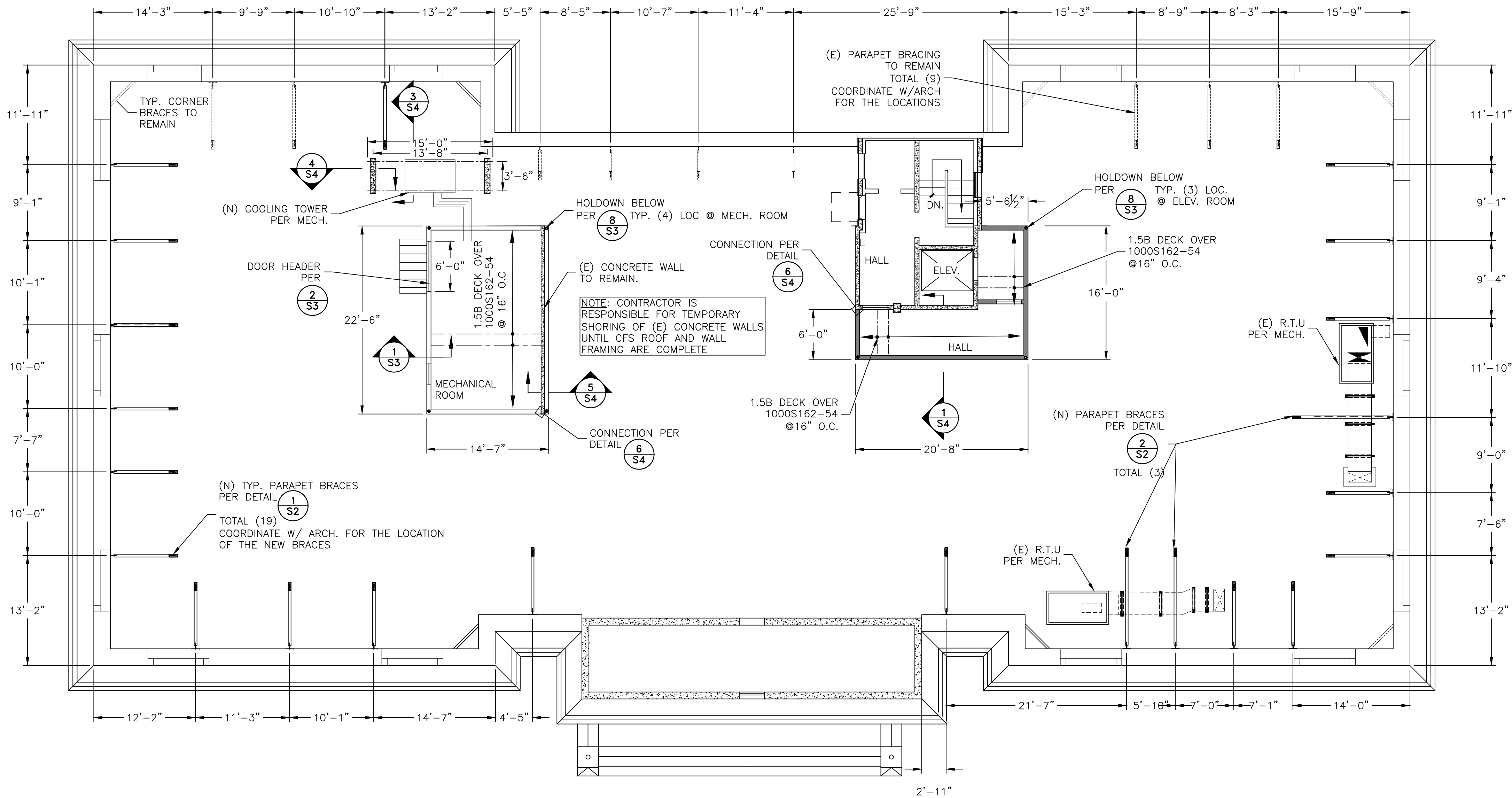
SHEET TITLE

GENERAL
NOTES
& DESIGN
CRITERIA

SCALE: NOTED ON DRAWINGS

S0

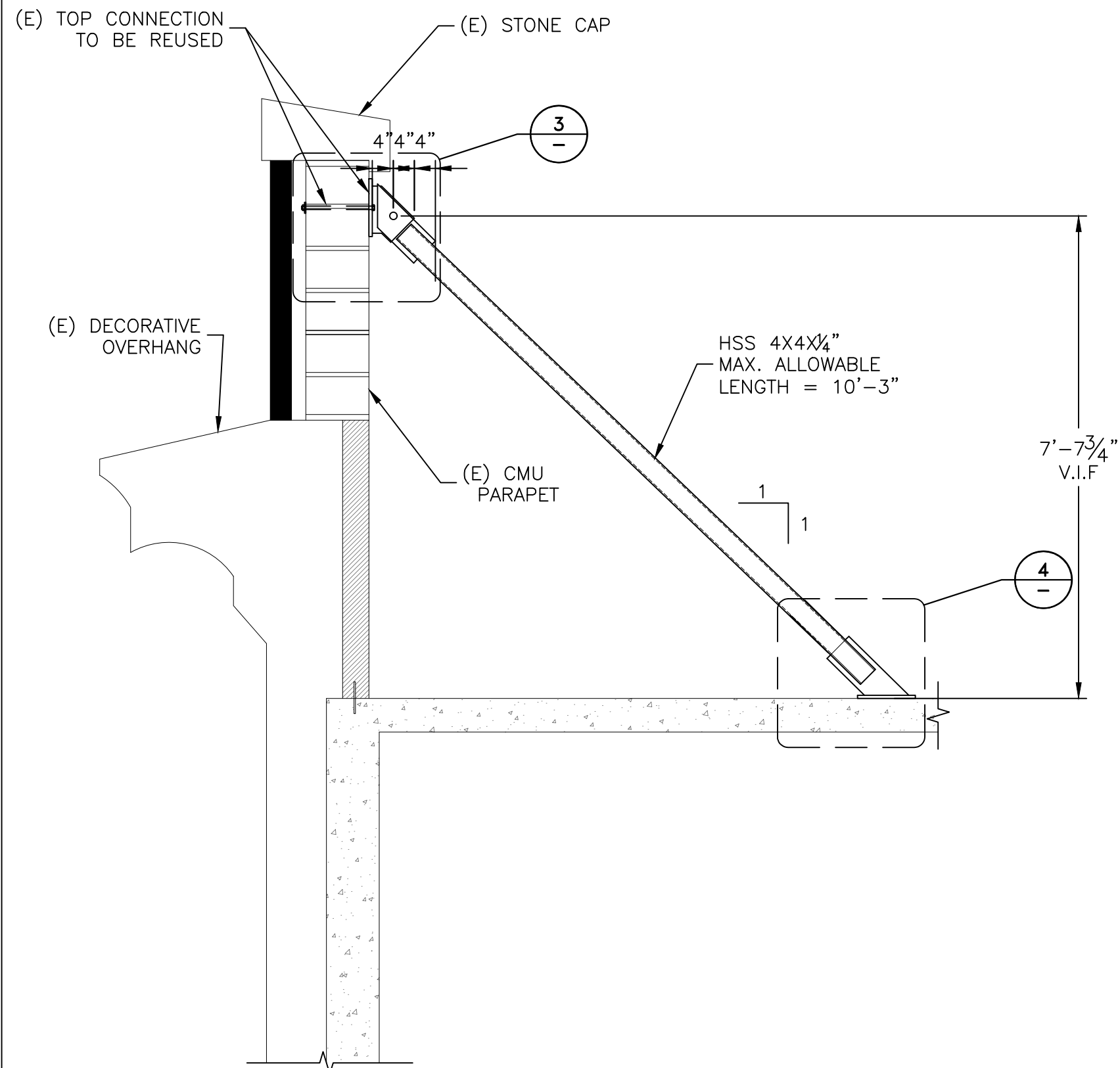
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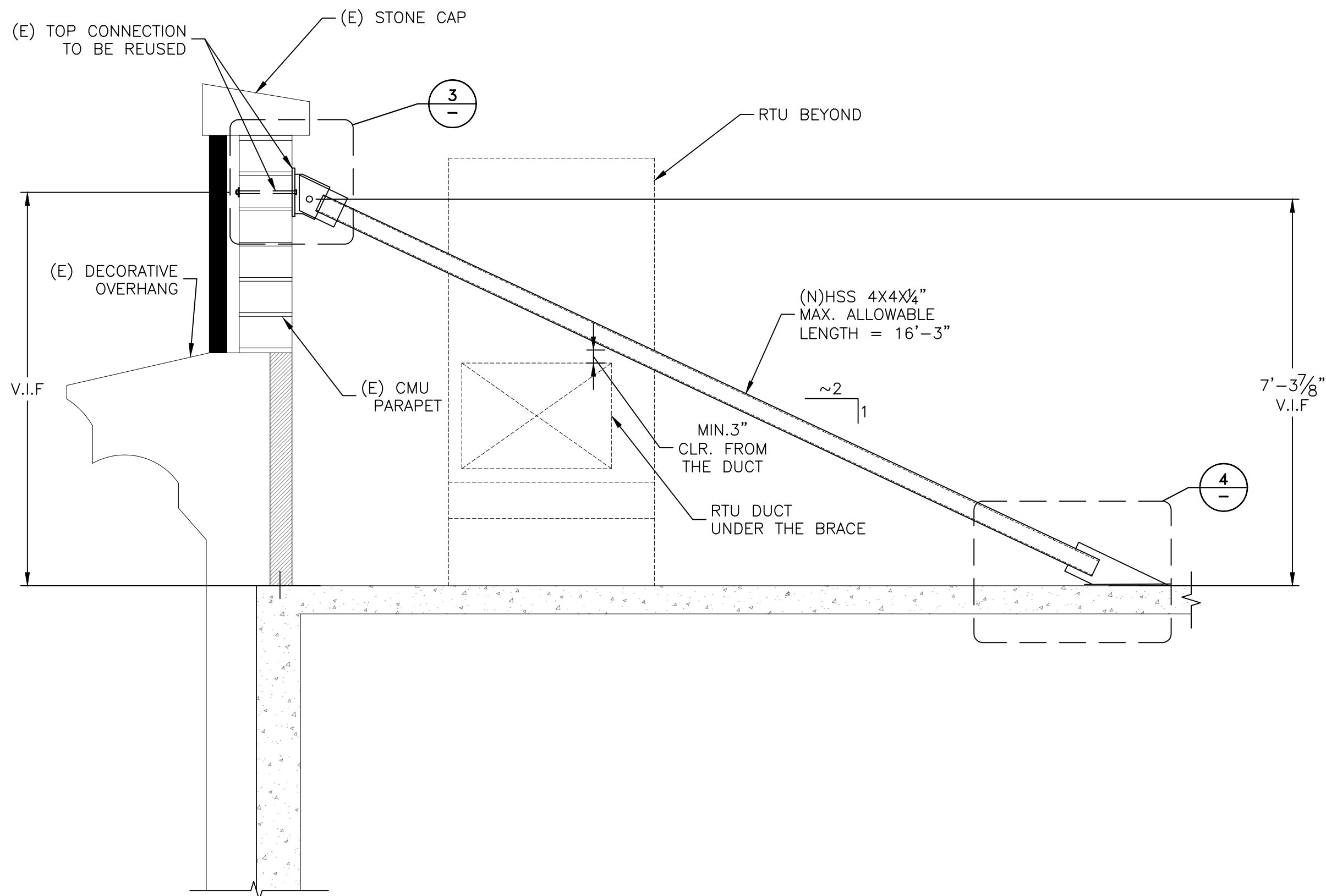
PROPOSED ROOF BRACING AND ENCLOSURE FRAMING LAYOUT
 1/4" = 1'-0"

ENCLOSURE WALL SCHEDULE					
ID	SHEATHING	PANEL ATTACHMENT @ EDGE	END STUD	HOLDOWN	NON-HOLDOWN ANCHORS
1	¾" SURE-BOARD SERIES 200	#8 SDS SCREWS @ 6" O.C.	(2)600S200-54 BACK TO BACK STUDS W/(2) #10 SCREWS @ 12" O.C.	S/HDU6 HOLDOWNS ATTACH W/(12)#14 SCREWS	½"Ø THRD'D ROD W/HILTI HIT RE 500 @ 48" O.C.

Mark	Description	Date
	PERMIT SET	03/10/23
	BID SET ISSUE	09/25/23

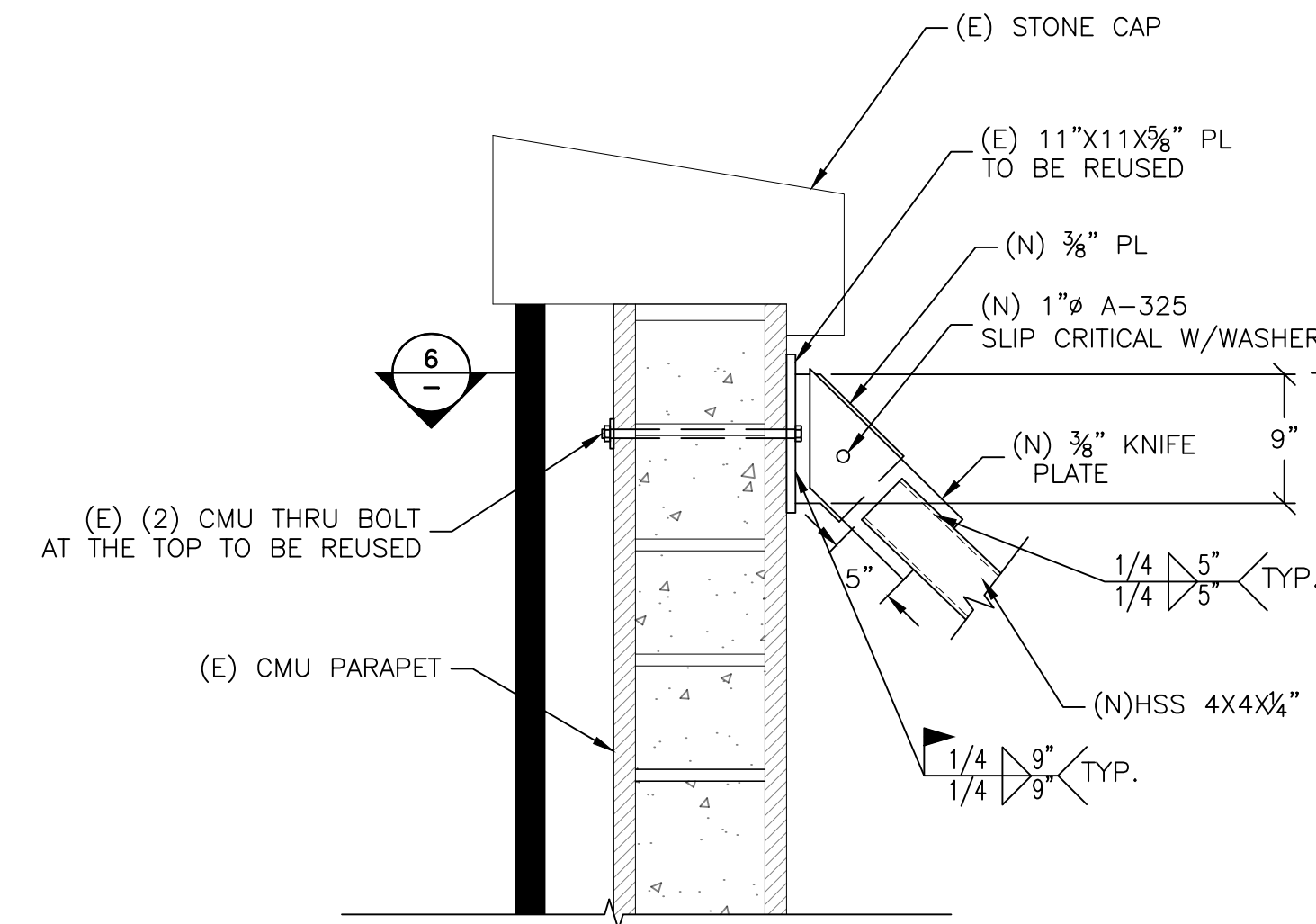


TYP. PARAPET BRACING DETAIL (1) S2
1/2" = 1'-0"

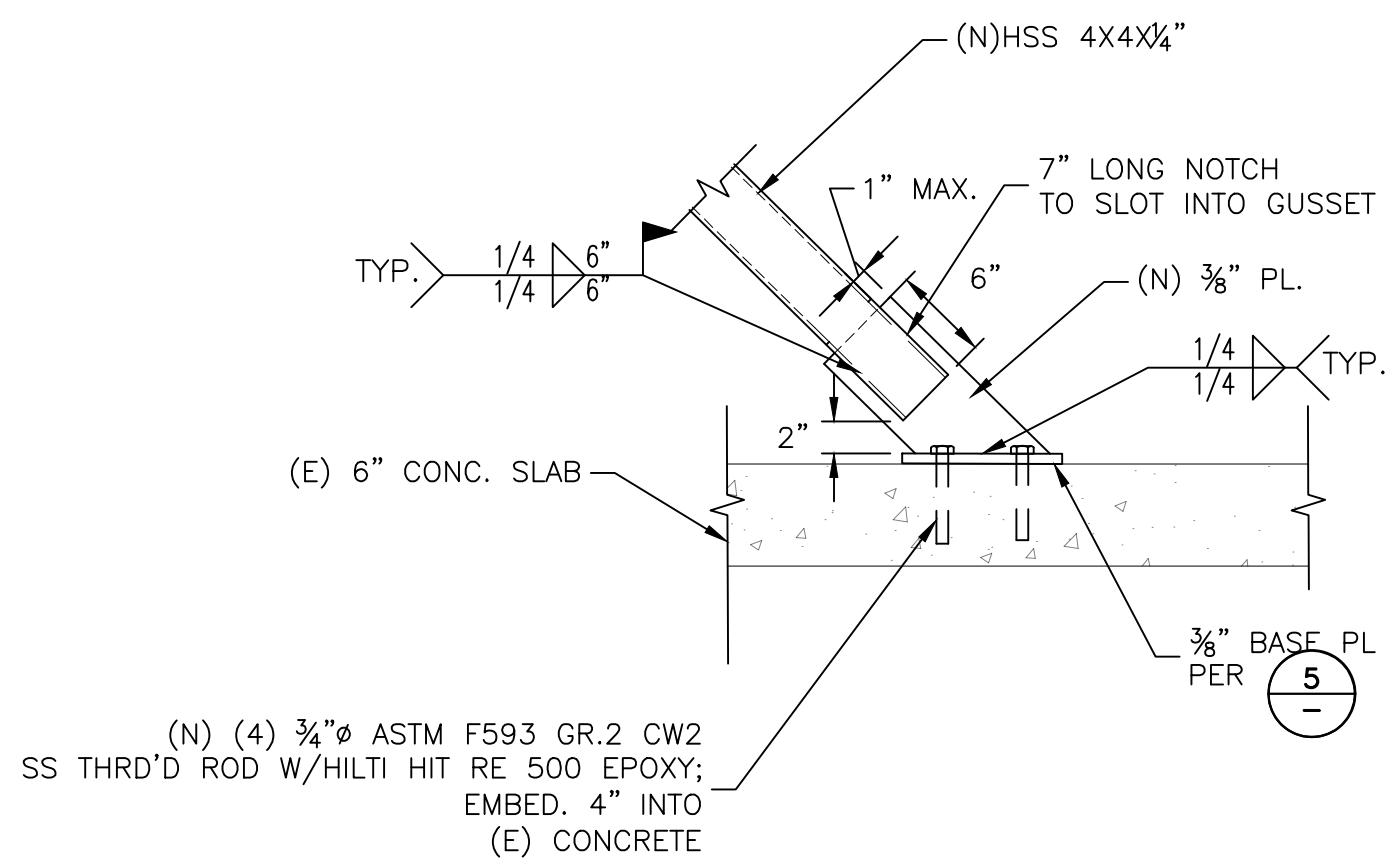


PARAPET BRACING DETAIL @ RTU (2) S2
1/2" = 1'-0"

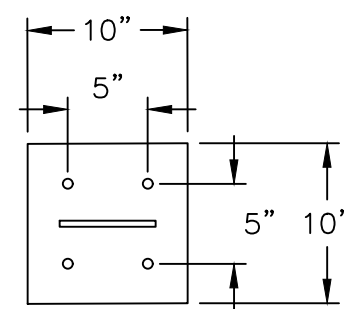
NOTE: CONTRACTOR TO VERIFY THE EXISTING CONNECTION IS FREE OF CORROSION AND SUITABLE FOR REUSE. ANY DEFICIENCIES SHALL BE REPORTED TO THE EOR.



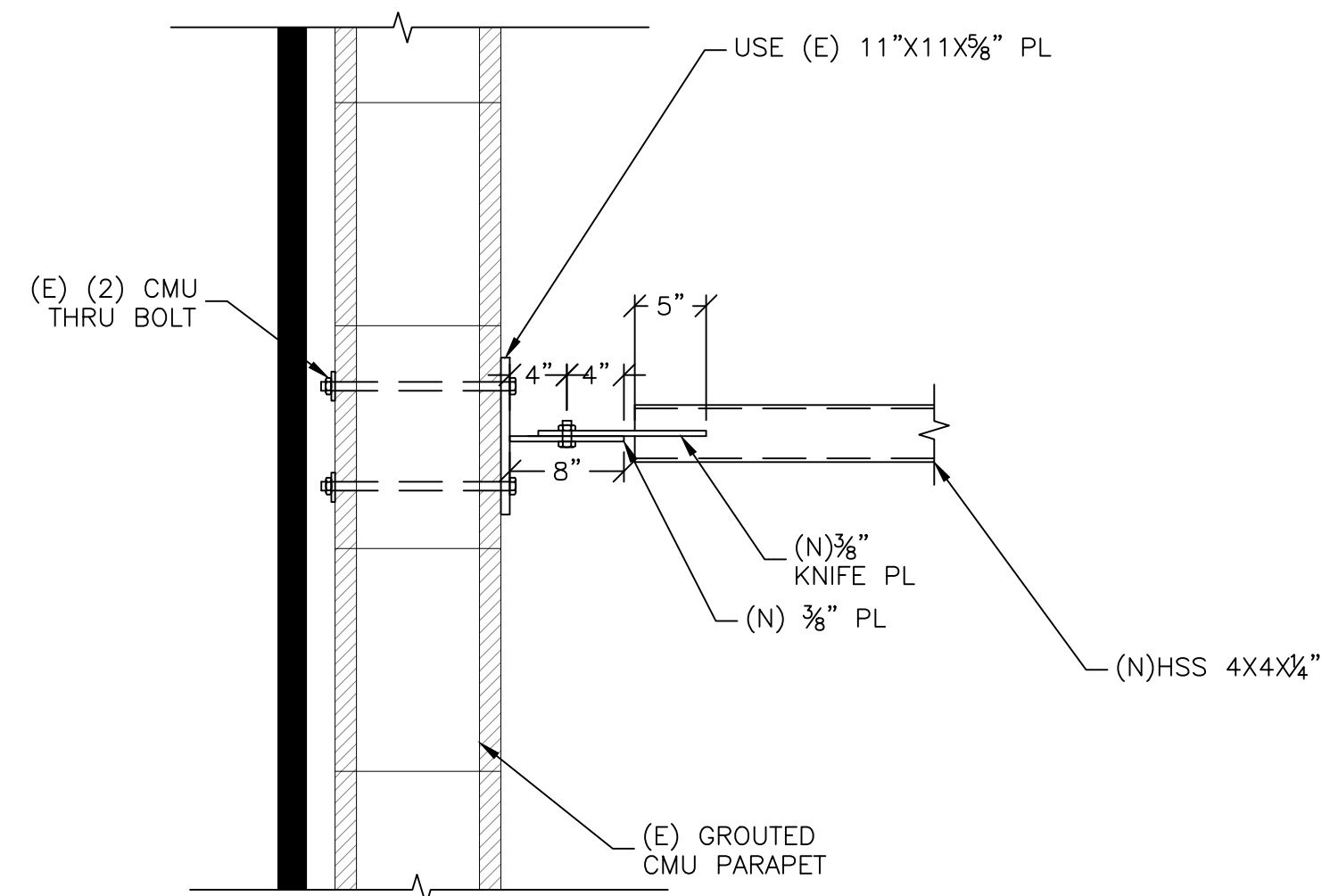
TOP CONNECTION DETAIL (3) S2
1" = 1'-0"



NEW BASE CONNECTION DETAIL (4) S2
1" = 1'-0"



BASE PLATE DETAIL (5) S2
1" = 1'-0"



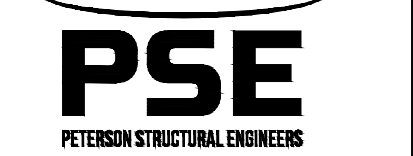
TOP CONNECTION SECTION (6) S2
1" = 1'-0"



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Date: 03/10/2023 PSE#: 2202-0058

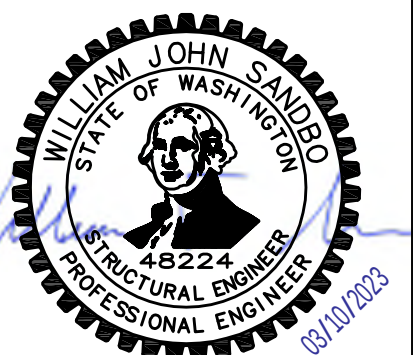


ABB Project # 22-7763.01

Skagit County Project # 3809

PROJECT NAME:
*Skagit County Superior Court
Rooftop Jailhouse Removal*
OWNER NAME / ADDRESS:
*Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*
PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*
PROPERTY MANAGER:
*Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen*

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BUILDING DEPARTMENT
PERMIT # TBD

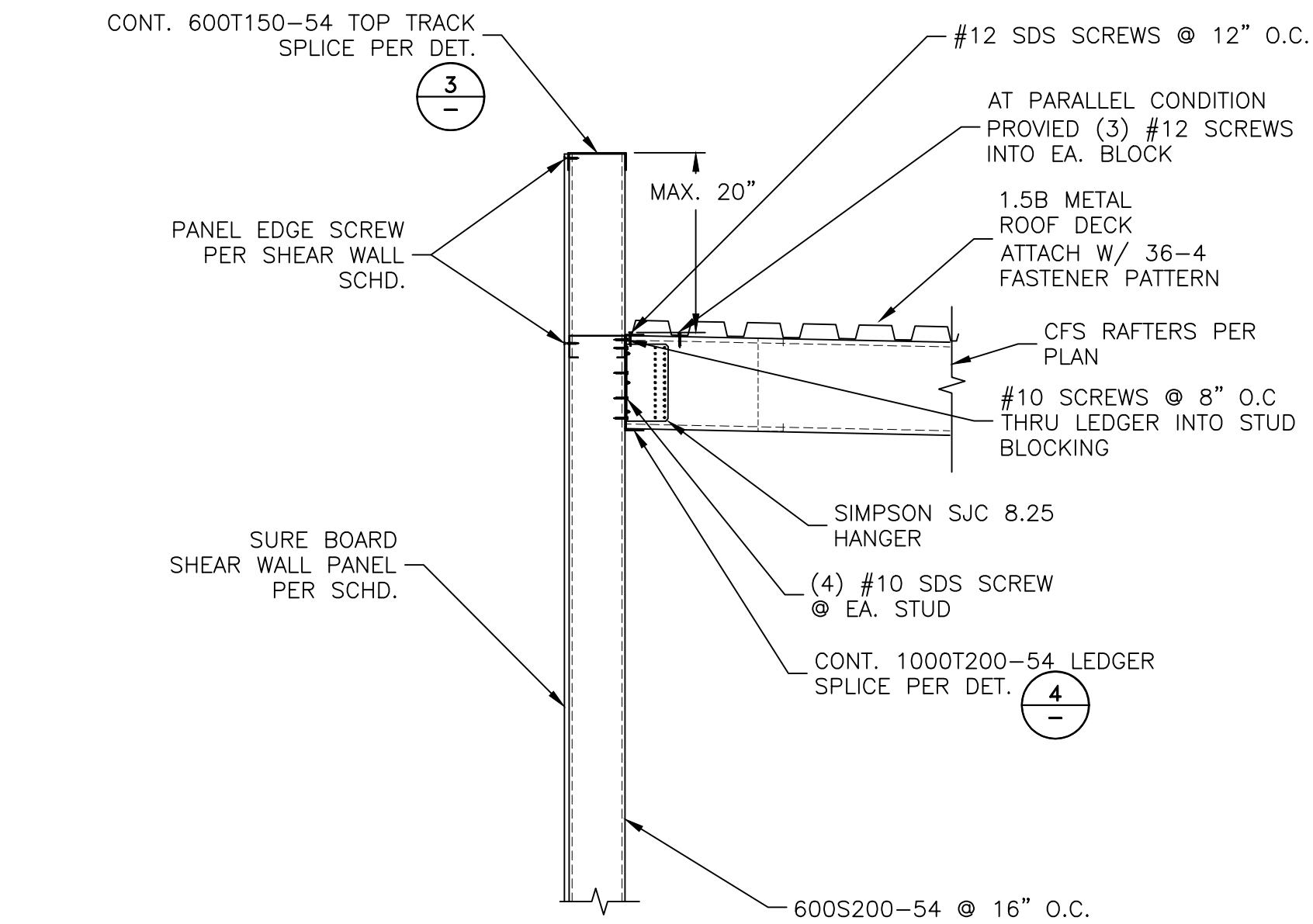
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PARAPET
BRACE DETAIL

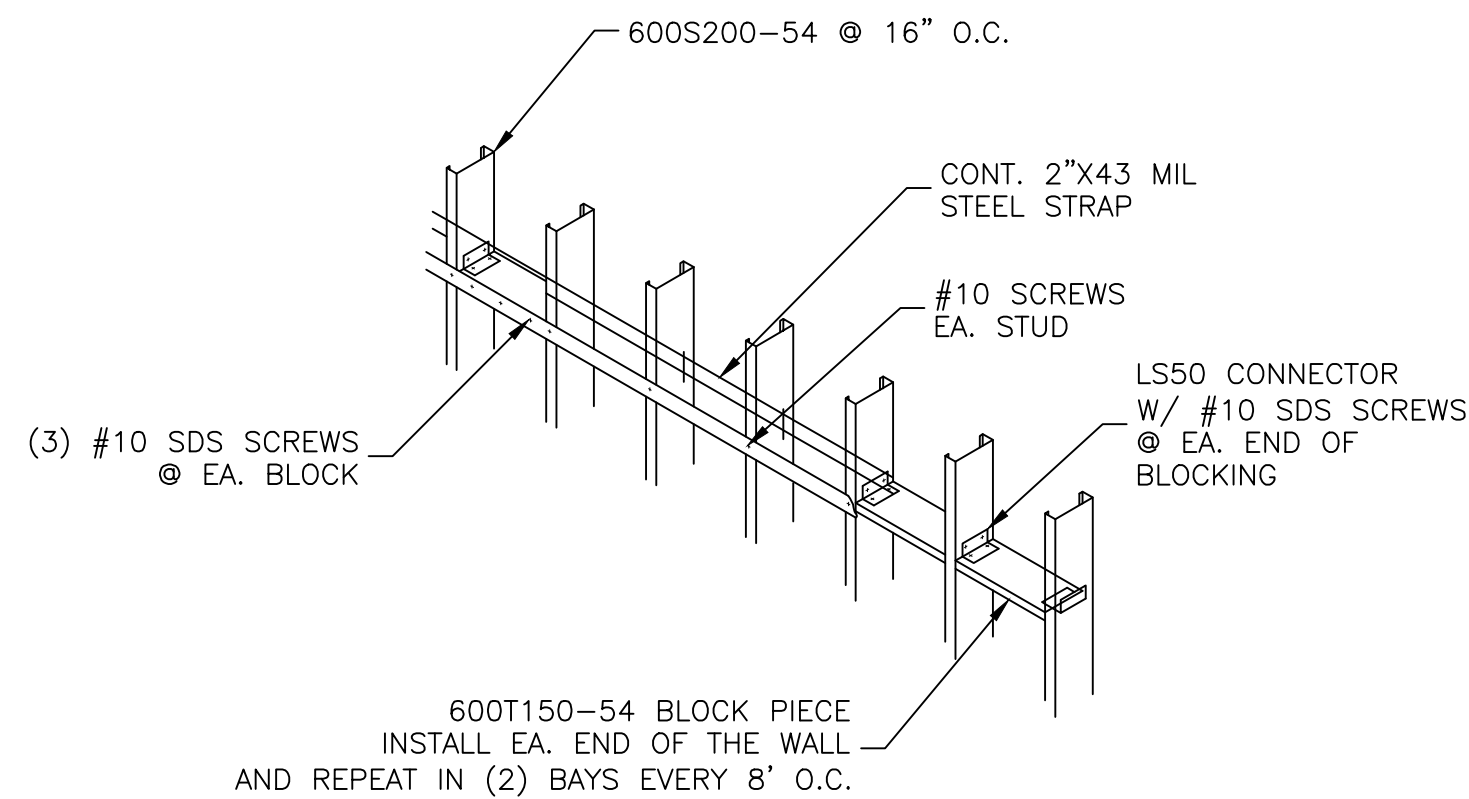
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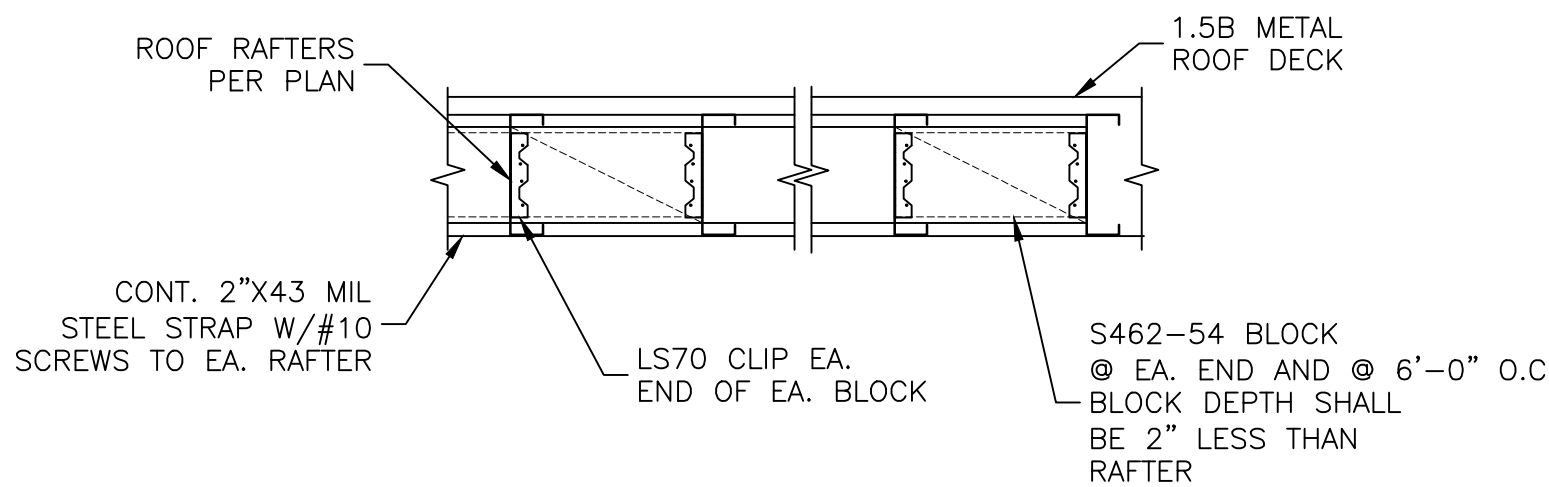
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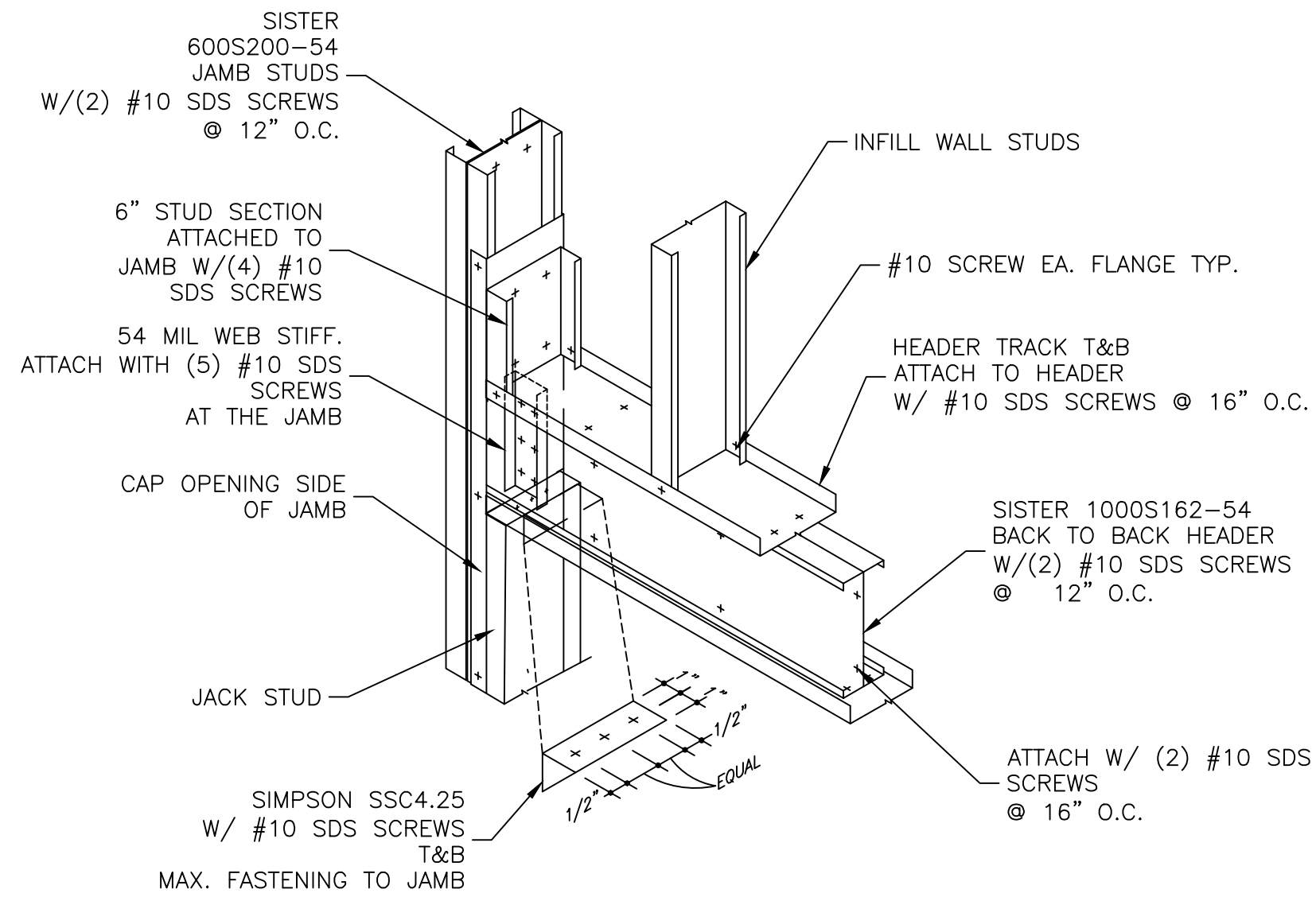
STUD WALL SECTION 1
3/4" = 1'-0"



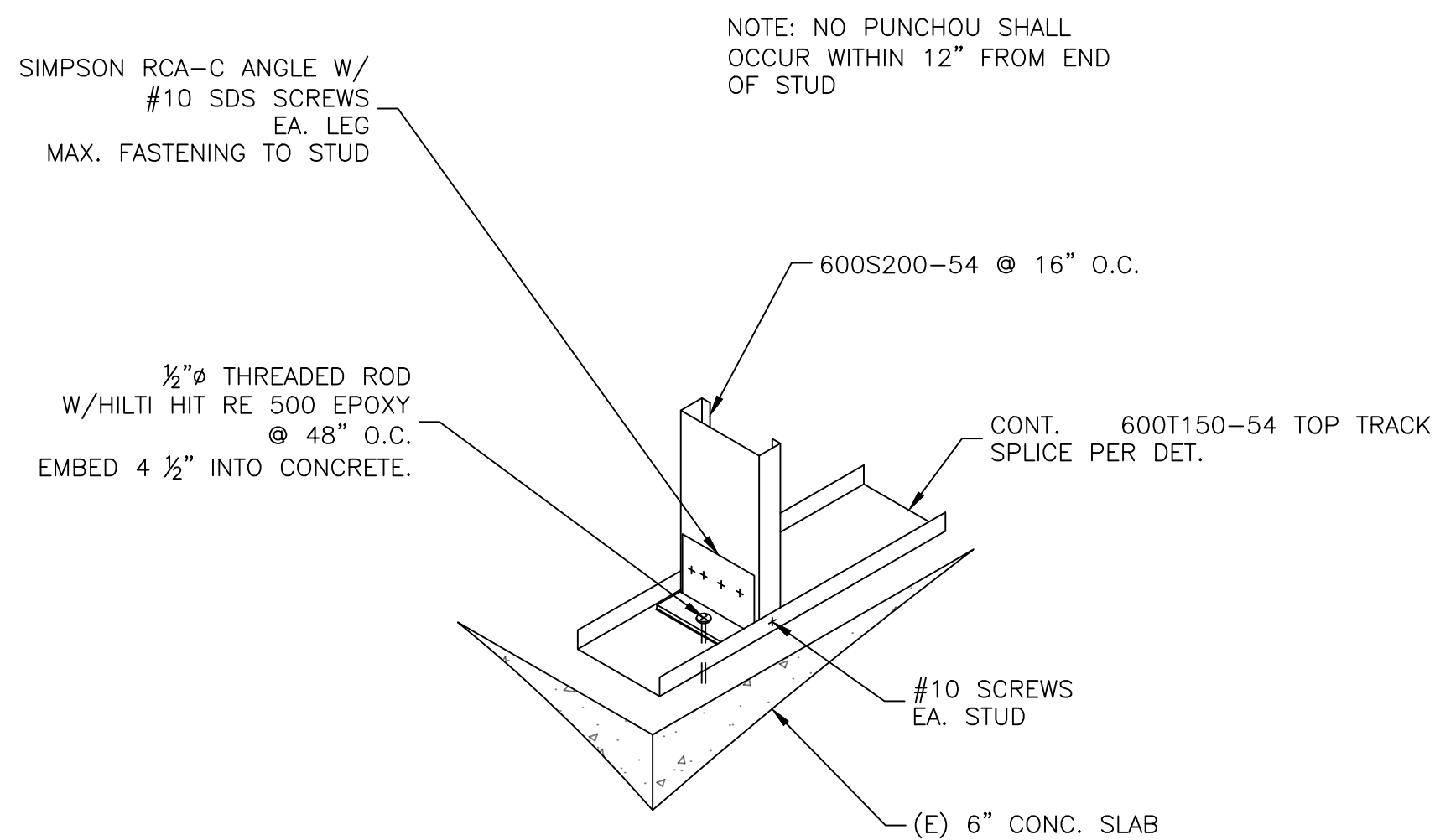
TYP. BRIDGING W/BLOCKING 5
N.T.S.



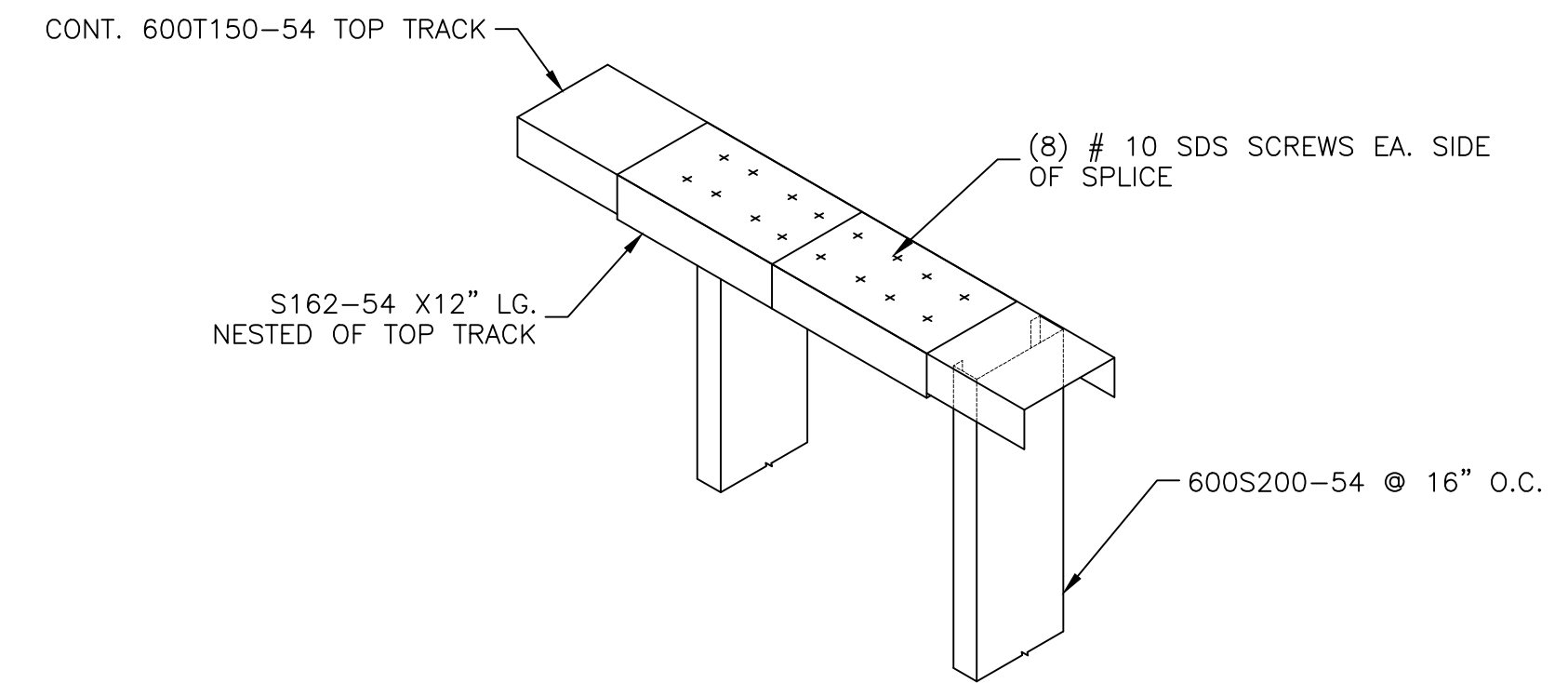
TYP. RAFTER BRIDGING DETAIL 6
NTS



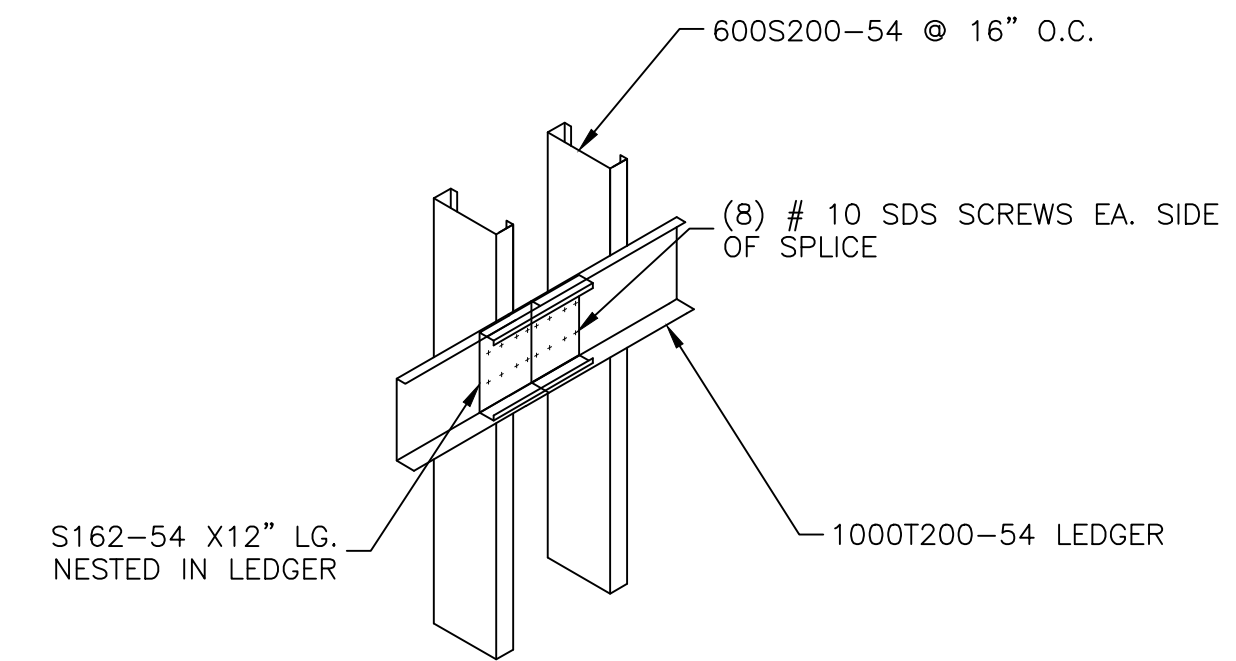
HEADER DETAIL 2
N.T.S.



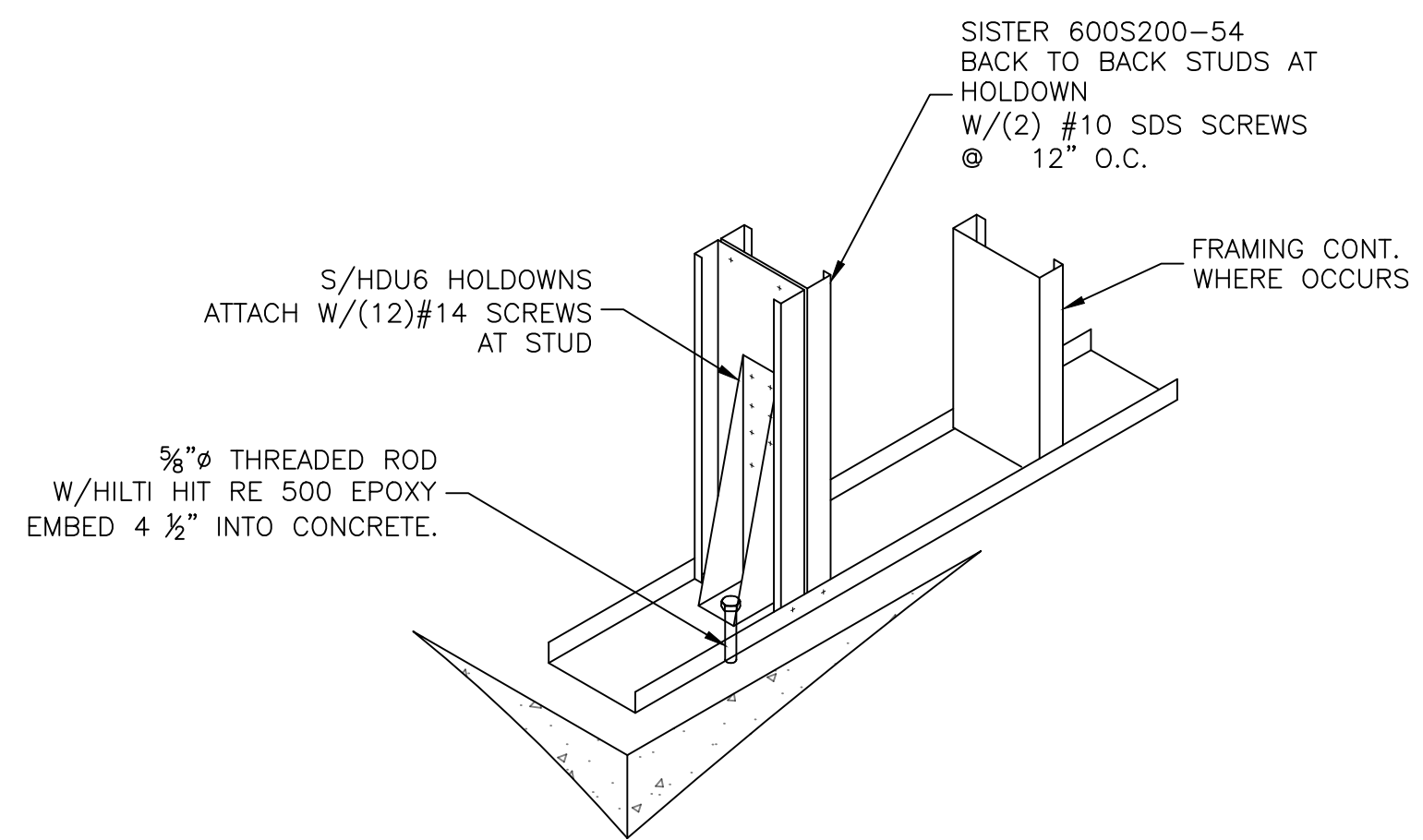
WALL ANCHORAGE DETAIL 7
N.T.S.



TYP. TRACK SPLICE DETAIL 3
N.T.S.



TYP. LEDGER SPLICE DETAIL 4
N.T.S.



HOLDOWN DETAIL 8
N.T.S.



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Date: 03/10/2023 PSE#: 2202-0058



ABB Project # 22-7763.01

Skagit County Project # 3809

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*Skagit County Superior Court
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OWNER NAME / ADDRESS:
*Skagit County,
a Municipal Corporation
1800 Continental Place
Mount Vernon, WA 98273*

PROPERTY ADDRESS:
*205 W. Kincaid Street
Mount Vernon, WA 98273*

PROPERTY MANAGER:
*Skagit County Facilities
Management
1800 Continental Place
Mount Vernon, WA 98273
Contact: Ken Hansen*

Mark	Description	Date
	PERMIT SET	03/10/23
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT
PERMIT # TBD

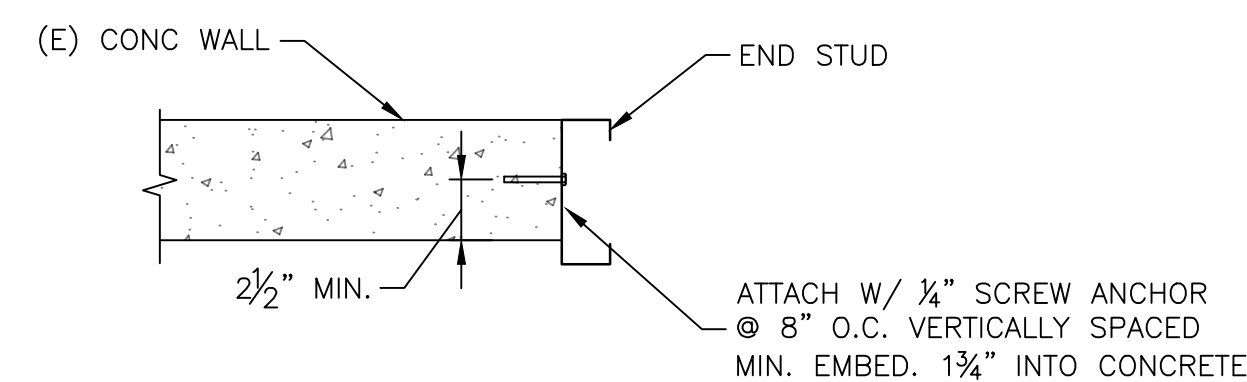
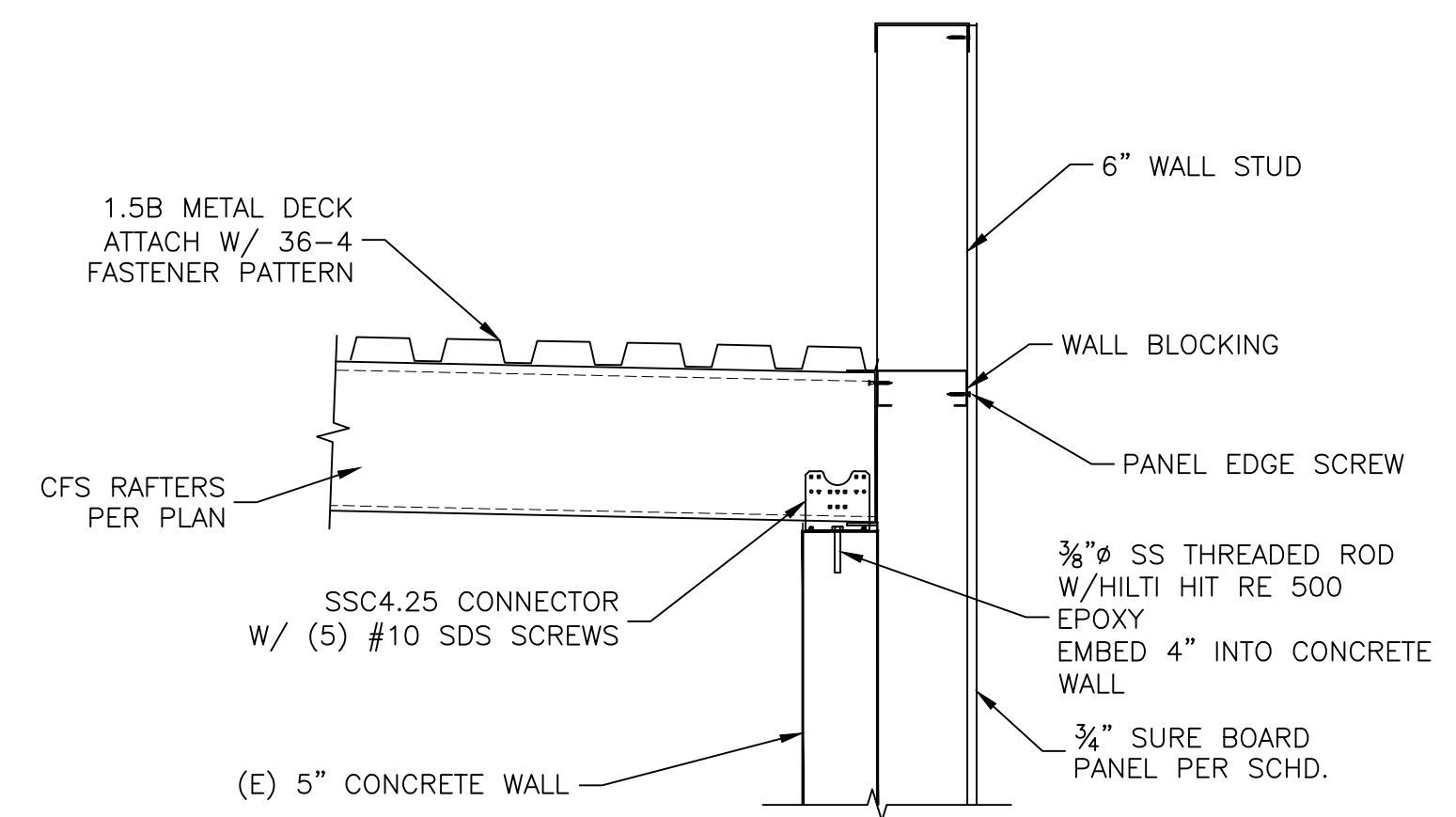
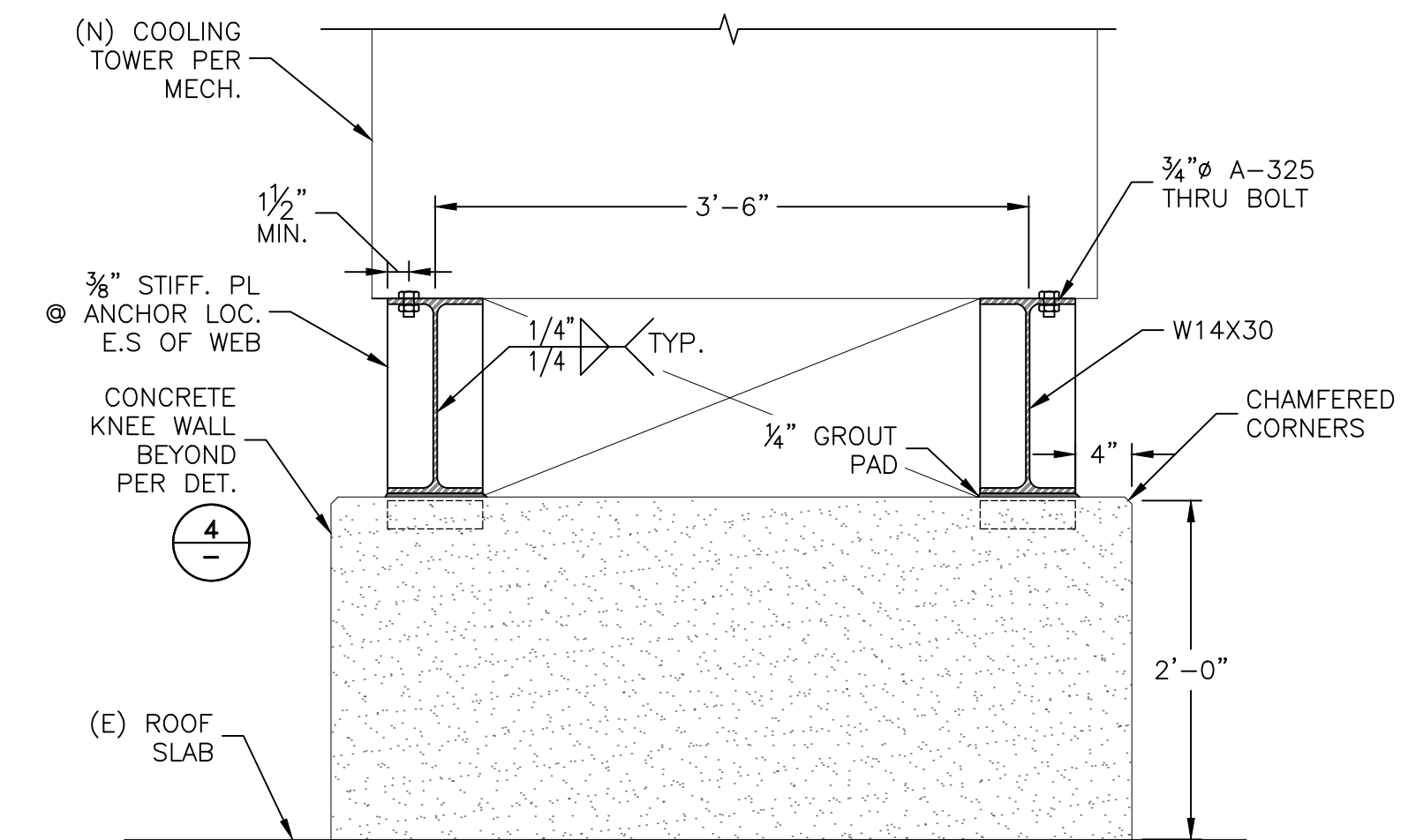
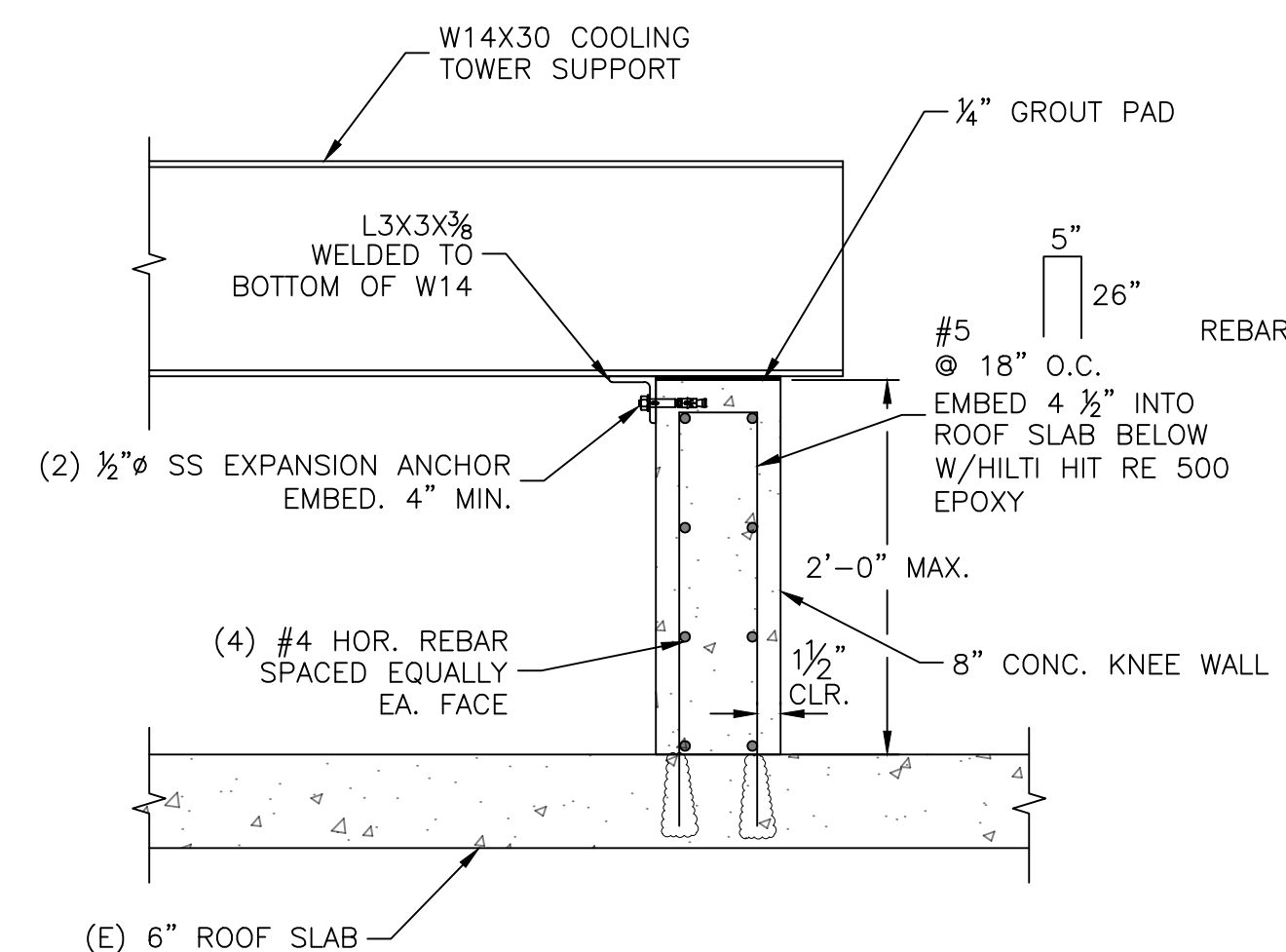
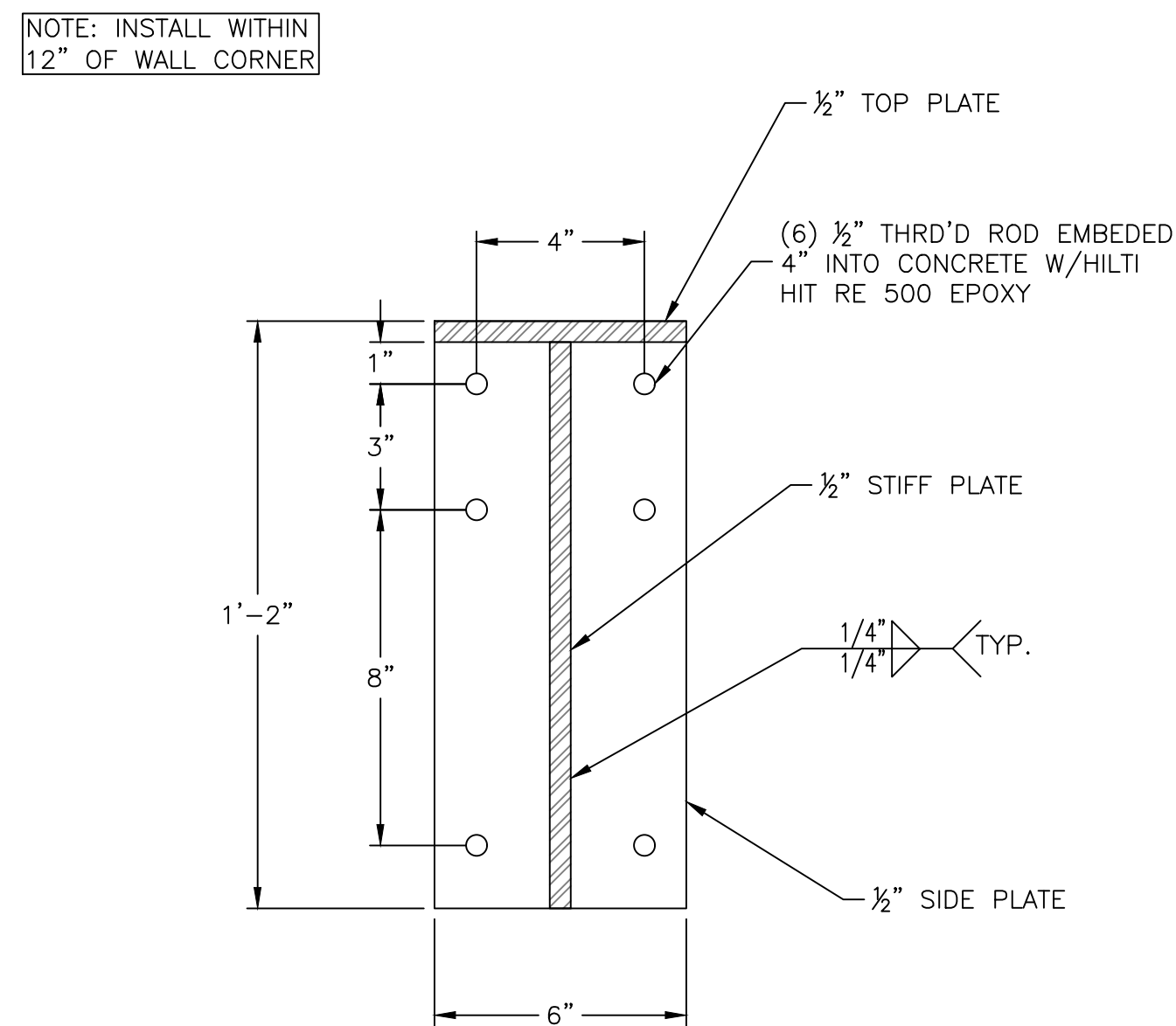
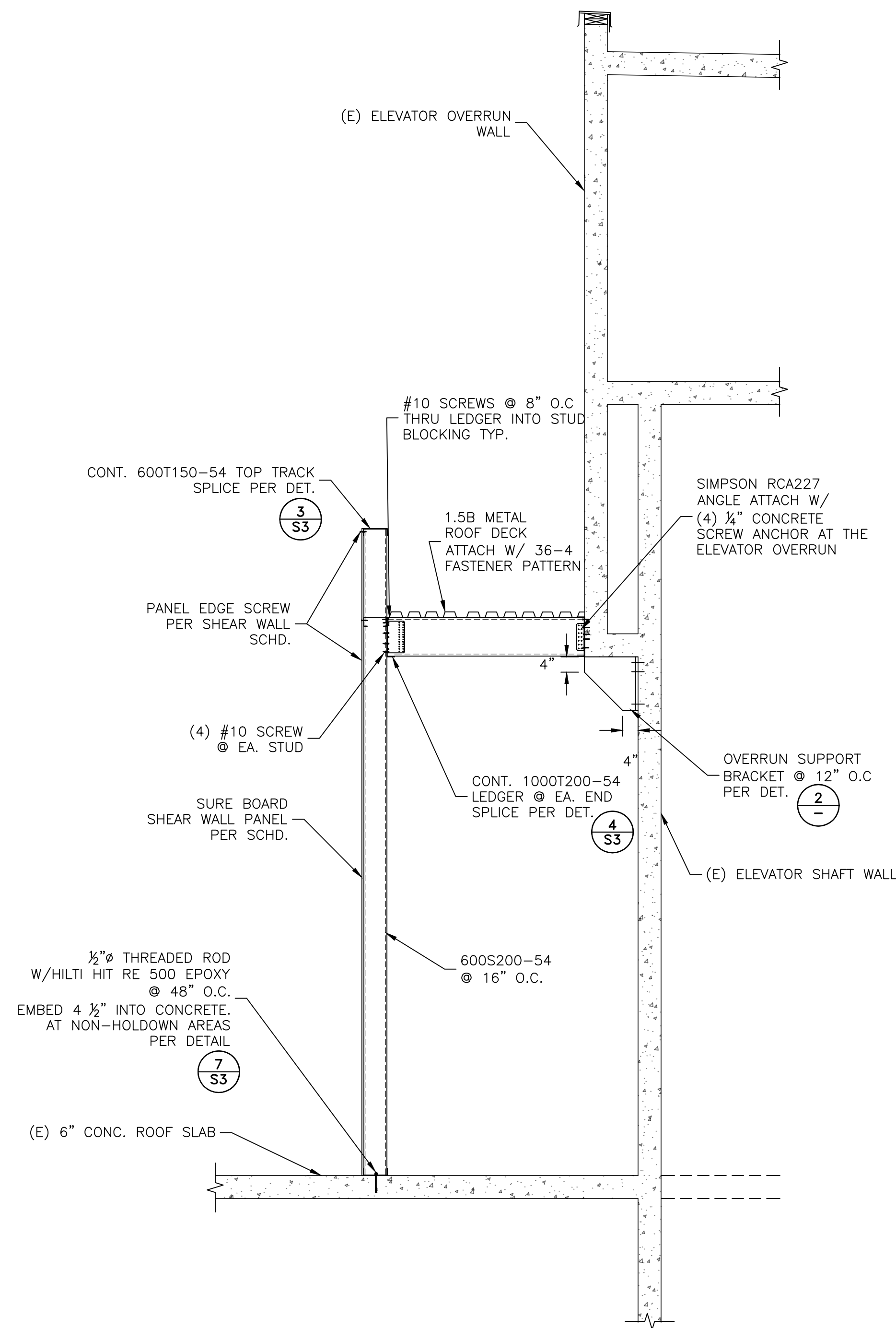
SHEET TITLE

CFS WALL
DETAILS

SCALE: NOTED ON DRAWINGS

S3

SHEET



Work	Description	Date
	PERMIT SET	03/10/23
	BID SET ISSUE	09/25/23



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Skagit County Project # 3809

PROJECT NAME:
Skagit County Superior Court

Rooftop Jailhouse Removal

OWNER NAME / ADDRESS:
Skagit County,

a Municipal Corporation

1800 Continental Place

Mount Vernon, WA 98273

PROPERTY ADDRESS:
205 W. Kincaid Street

Mount Vernon, WA 98273

PROPERTY MANAGER:
Skagit County Facilities

Management

1800 Continental Place

Mount Vernon, WA 98273

Contact: Ken Hansen

Mark	Description	Date
	PERMIT SET	03/10/23
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BUILDING DEPARTMENT
PERMIT # TBD

SHEET TITLE

DEMO PLAN
AND LOAD MAP

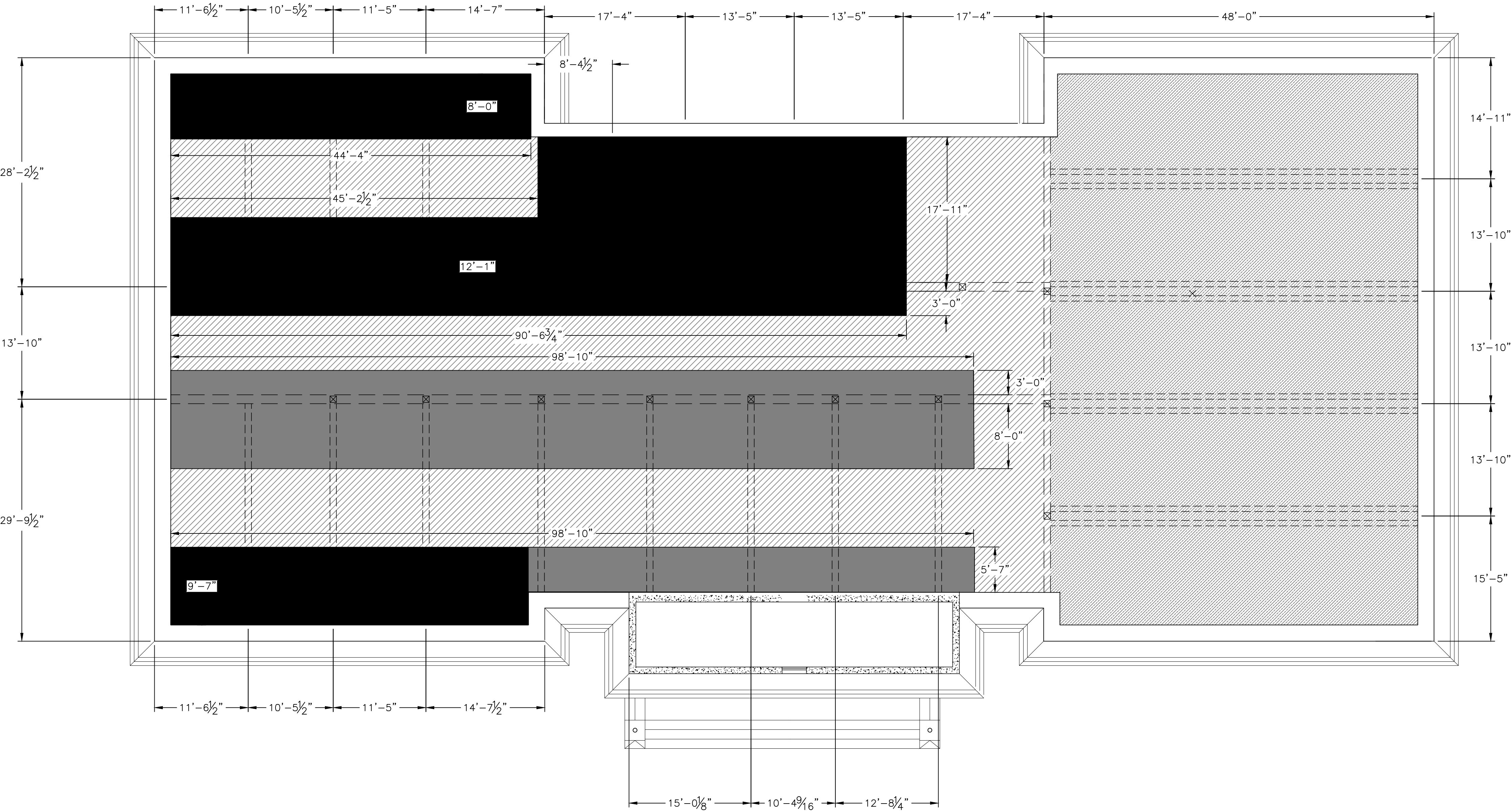
SCALE: NOTED ON DRAWINGS

S5

SHEET

NOTE:
1. THE MAX. STOCK PILE LOAD SHALL BE AS NOTED. LISTED LOAD ARE TOTAL LOAD ON THE SLAB DURING DEMOLITION WORK.
2. CONTRACTOR SHALL PROVIDE ACTUAL WEIGHT OF THE DEMOLITION EQUIPMENTS.
3. DURING DEMOLITION WORK AND STOCKPILING, CARE SHOULD BE TAKEN TO AVOID IMPACTING OTHER STRUCTURAL ELEMENTS.

LEGEND
ALLOWABLE STOCKPILE ZONE, 200 PSF MAX. AVERAGE LOADING
LIGHT DUTY STOCKPILE ZONE, 40 PSF MAX. AVERAGE LOADING
NO LOAD ZONE - STOCKPILING NOT ALLOWED
EXISTING CONCRETE FLOOR BEAM BELOW
EXISTING CONCRETE COLUMN BELOW



DEMO PLAN AND LOAD MAP

1/8" = 1'-0"

PLUMBING SYMBOL LIST

Abbreviations

CONT.	CONTINUATION
DIA	DIAMETER
DN	DOWN
DFU	DRAINAGE FIXTURE UNIT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
L	LAVATORY
NPCW	NON-POTABLE COLD WATER
PLBG	PLUMBING
POC	POINT OF CONNECTION
QTY	QUANTITY
RD	ROOF DRAIN
SF	SQUARE FEET

General

---	DEMOLISH (DASH-DOT)
---	EXISTING WORK
---	NEW WORK
●	POINT OF CONNECTION

Piping Fittings

---	CAP
⊙ VTR	VENT THROUGH ROOF

Piping Systems

---NG---	NATURAL GAS PIPING, 2 LB
--NPCW--	NON-POTABLE COLD WATER PIPING
-----	SANITARY VENT PIPING

Valves

--- --- ---	SHUTOFF VALVE, GENERAL
-------------	------------------------

GENERAL PLUMBING NOTES

- A. ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO THE CURRENT STATE, COUNTY AND NATIONAL CODES AND STANDARDS ADOPTED BY THE LOCAL JURISDICTIONS INCLUDING APPLICABLE AMENDMENTS.
- B. CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE AND SUBJECT TO VERIFICATION. VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES TO BE CROSSED OR CONNECTED. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO THE OWNER. IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER OF THE CONDITION IN CONFLICT WITH THE DETAILS/PLANS.
- C. COORDINATE INSTALLATION OF PIPING, FIXTURES, EQUIPMENT AND THE LIKE WITH STRUCTURAL COMPONENTS AND ALL OTHER SYSTEM INSTALLATIONS.



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The undersigned has provided building enclosure documents that in my professional judgement are appropriate to satisfy the requirements of RCW 64.55.005 through 64.55.090

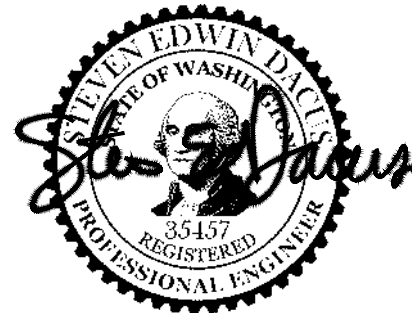


ABB PROJECT #: 22-7763.01

SCOPE OF WORK:
4th Floor Jail Demolition & Re-roofing
OWNER NAME:
Skagit County Courthouse
PROPERTY ADDRESS:
**205 W. Kincaid Street
Mount Vernon, WA 98273**
PROPERTY MANAGER:
**Skagit County Facilities Management
1800 Continental Place
Mount Vernon, WA 98273**

Mark	Description	Date
1	PERMIT SET	03/10/23
	Permit Correction Bid Set	
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT
PERMIT # TBD



PROJECT 2022-0114
CONTACT Tracy Bethel
100 SW Main Street, Suite 1600
Portland, OR 97204
TEL 503.382.2266
www.interfaceengineering.com

SHEET TITLE

SYMBOL LIST
AND GENERAL
NOTES -
PLUMBING

SCALE: NOTED ON DRAWINGS

P0.1

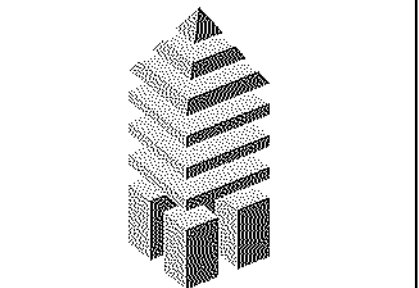
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SHEET INDEX

P0.1	SYMBOL LIST AND GENERAL NOTES - PLUMBING
P1.1	4TH FLOOR AND ROOF DEMO PLAN - PLUMBING
P2.1	4TH FLOOR AND ROOF PLAN - PLUMBING

SHEET KEYNOTES

1. REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED APPURTENANCES. REMOVE SANITARY SEWER PIPING BACK TO THIRD FLOOR ROOF AND CAP IN-PLACE. REMOVE VENT PIPING ENTIRELY, REMOVE WATER PIPING ENTIRELY.
2. REMOVE EXISTING VENT PIPING FROM UPPER ROOF BACK TO 1 FT ABOVE THIRD FLOOR ROOF.
3. REMOVE EXISTING VENT PIPING ENTIRELY.
4. REMOVE EXISTING GAS PIPING BACK TO THIS APPROXIMATE LOCATION AND CAP IN PLACE.
5. REMOVE EXISTING NATURAL GAS PIPING BACK TO THIS APPROXIMATE LOCATION. SEE SHEET P2.1 FOR NEW WORK.
6. REMOVE EXISTING NON-POTABLE WATER PIPING FROM EXISTING COOLING TOWER BACK TO THIS APPROXIMATE LOCATION IN MECHANICAL ROOM. SEE SHEET P2.1 FOR NEW WORK.



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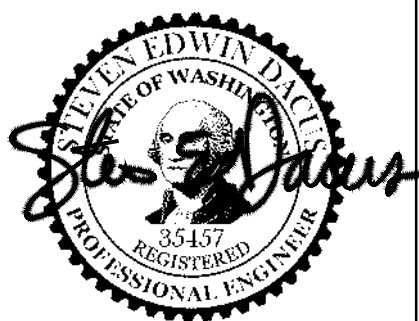


ABB PROJECT #: 22-7763.01

SCOPE OF WORK:
4th Floor Jail Demolition & Re-roofing
OWNER NAME:
Skagit County Courthouse
PROPERTY ADDRESS:
**205 W. Kincaid Street
Mount Vernon, WA 98273**
PROPERTY MANAGER:
**Skagit County Facilities Management
1800 Continental Place
Mount Vernon, WA 98273**

Mark	Description	Date
	PERMIT SET	03/10/23
1	Permit Correction Bid Set	
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT
PERMIT # TBD



PROJECT 2022-0114
CONTACT Tracy Bethel
100 SW Main Street, Suite 1600
Portland, OR 97204
TEL 503.382.2266
www.interfaceengineering.com

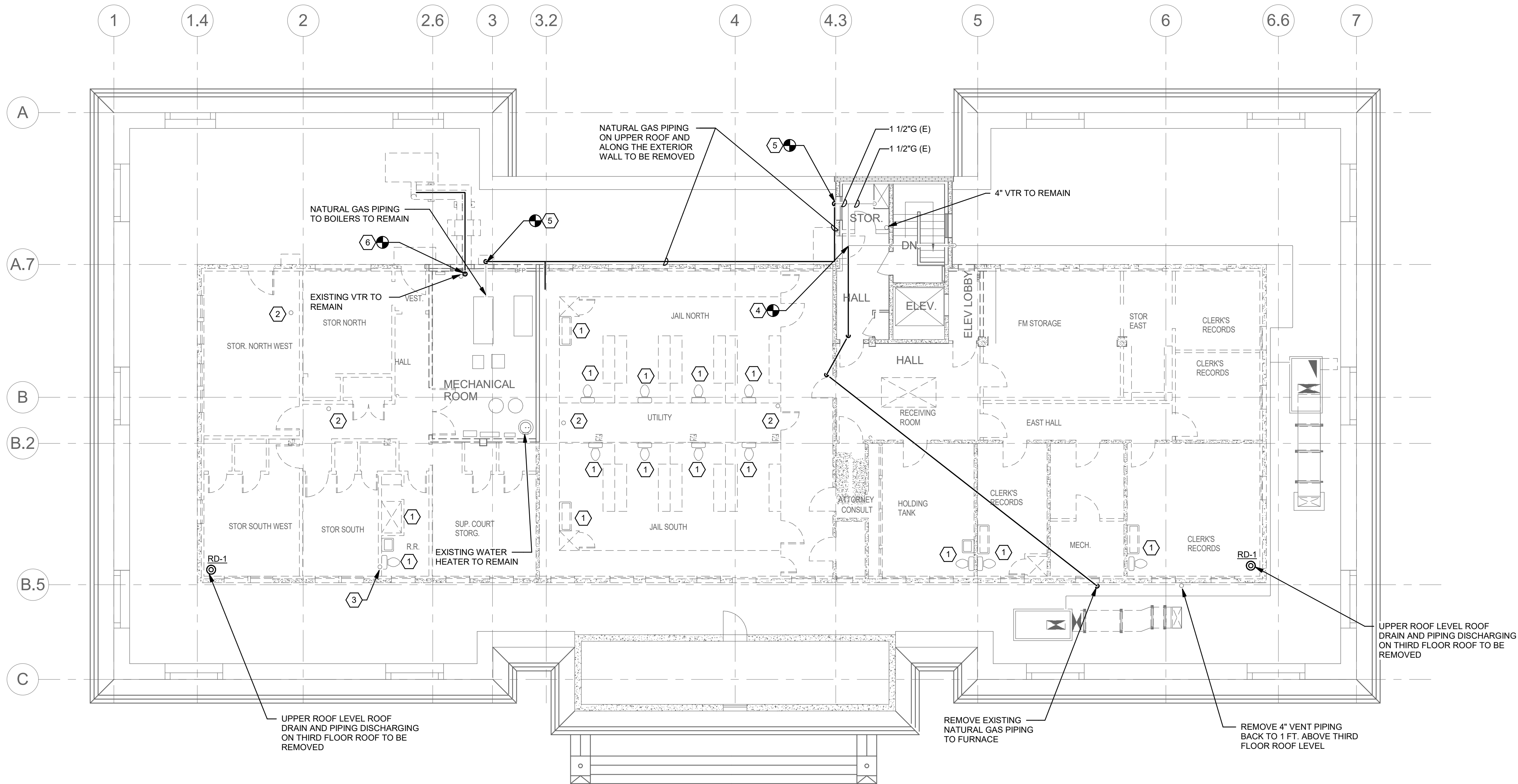
SHEET TITLE

4TH FLOOR
AND ROOF
DEMO PLAN -
PLUMBING

SCALE: NOTED ON DRAWINGS

P1.1

SHEET

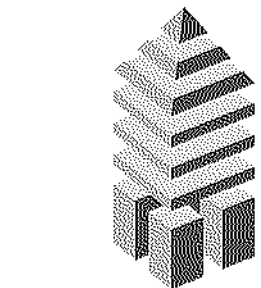


1 4TH FLOOR AND ROOF DEMO PLAN - PLUMBING

0' 4' 8' 16'
1/8" = 1'-0"

SHEET KEYNOTES

- CONNECT NEW NATURAL GAS PIPING TO EXISTING GAS PIPING THIS APPROXIMATE LOCATION. COORDINATE NATURAL GAS PIPING ROUTING WITH EXISTING WINDOW.
- CONNECT NEW NATURAL GAS PIPING TO EXISTING GAS PIPING THIS APPROXIMATE LOCATION.
- ROUTE NEW NATURAL GAS PIPING ON ROOF AS SHOWN AND PROVIDE PIPING SUPPORTS PER SPECIFICATIONS.
- CONNECT NEW 1-INCH NON-POTABLE COLD WATER PIPING TO EXISTING NON-POTABLE COLD WATER PIPING THIS APPROXIMATE LOCATION AND ROUTE TO CONNECTION WITH NEW COOLING TOWER. COORDINATE EXACT CONNECTION LOCATION AND REQUIREMENTS WITH COOLING TOWER MANUFACTURER PRIOR TO INSTALLATION.



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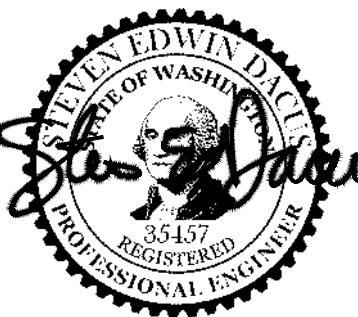


ABB PROJECT #: 22-7763.01

SCOPE OF WORK:
4th Floor Jail Demolition & Re-roofing

OWNER NAME:
Skagit County Courthouse

PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273

PROPERTY MANAGER:
Skagit County Facilities Management
1800 Continental Place
Mount Vernon, WA 98273

Mark	Description	Date
	PERMIT SET	03/10/23
1	Permit Correction Bid Set	
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT
PERMIT # TBD



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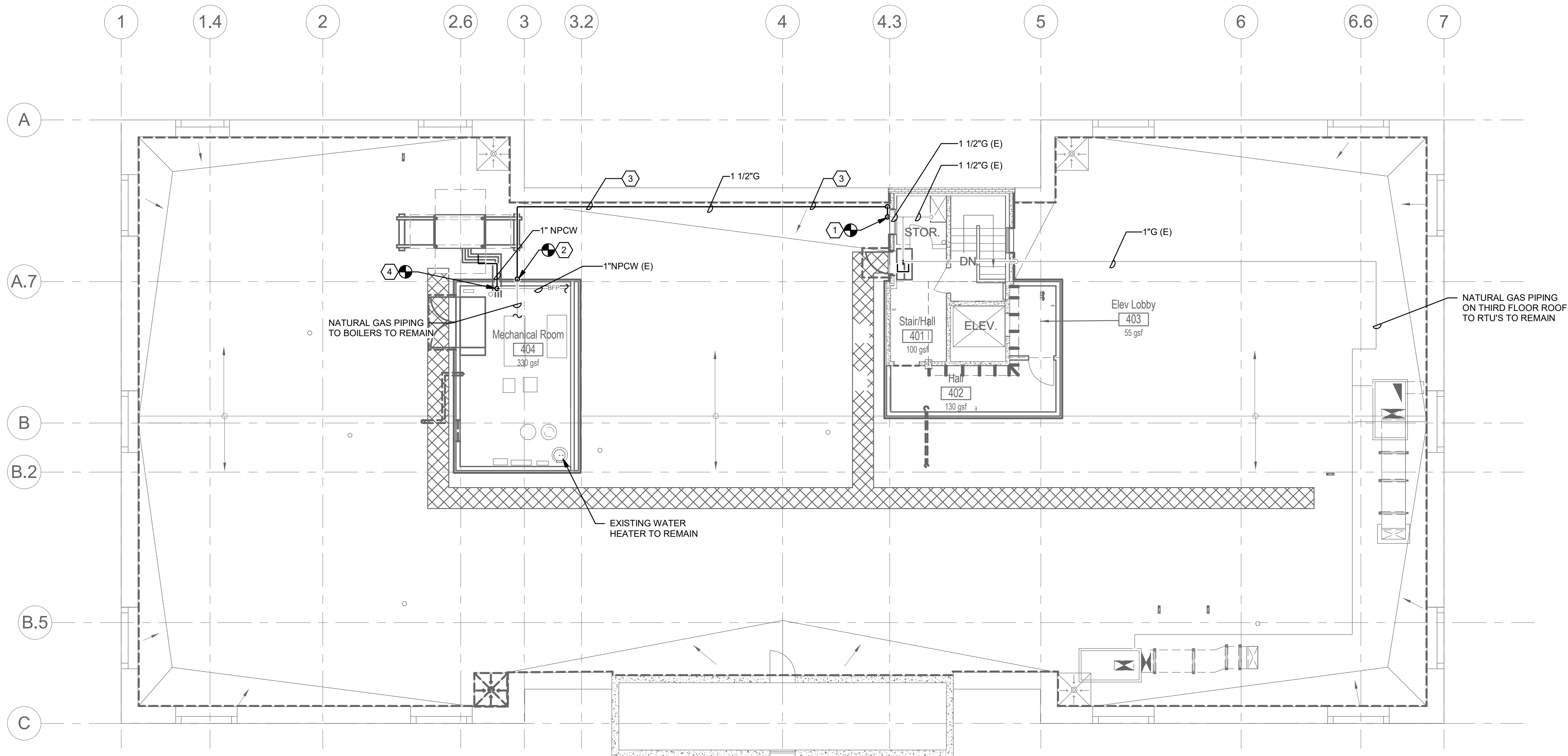
SHEET TITLE

4TH FLOOR
AND ROOF
PLAN -
PLUMBING

SCALE: NOTED ON DRAWINGS

P2.1

SHEET



1 4TH FLOOR AND ROOF PLAN - PLUMBING

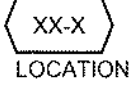
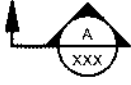
0' 4' 8' 16'
1/8" = 1'-0"

MECHANICAL SYMBOL LIST

Abbreviations

AFF ABOVE FINISHED FLOOR
AD ACCESS DOOR
A/C AIR CONDITION(ED)
BDD BACKDRAFT DAMPER
BFP BACKFLOW PREVENTER
BFF BELOW FINISHED FLOOR
BHP BRAKE HORSEPOWER
CD CEILING DIFFUSER
CV CHECK VALVE
COP COEFFICIENT OF PERFORMANCE
CW COLD WATER
CD CONDENSATE DRAIN
CU CONDENSING UNIT
CONT. CONTINUATION
DB DECIBEL
DIA DIAMETER
DX DIRECT EXPANSION
D DROP
DB DRY BULB
EFF EFFICIENT
ELECT ELECTRICAL
EER ENERGY EFFICIENCY RATING
EAT ENTERING AIR TEMPERATURE
EWT ENTERING WATER TEMPERATURE
EXH EXHAUST
EF EXHAUST FAN
F FAHRENHEIT
FT FEET
FD FIRE DAMPER
FLA FULL LOAD AMPS
GAL GALLONS
GPH GALLONS PER HOUR
GPM GALLONS PER MINUTE
HD HEAD
HTR HEATER
HTG HEATING
HP HORSEPOWER
HWC HOT WATER COIL
IN INCHES
ID INSIDE DIAMETER
IE INVERT ELEVATION
KW KILOWATT
LH LATENT HEAT
LAT LEAVING AIR TEMPERATURE
MAX MAXIMUM
MIN MINIMUM
MA MIXED AIR
MD MOTORIZED DAMPER
N/A NOT APPLICABLE
NIC NOT IN CONTRACT
NTS NOT TO SCALE
NO. NUMBER
OC ON CENTER
OBD OPPOSED BLADE DAMPER
OA OUTSIDE AIR
OD OUTSIDE DIAMETER
PH PHASE
LBS POUNDS
PSI POUNDS PER SQUARE INCH
PD PRESSURE DROP
PRV PRESSURE REDUCING VALVE
QTY QUANTITY
RET RETURN
RA RETURN AIR
RPM REVOLUTIONS PER MINUTE
R RISE
SEER SEASONAL ENERGY EFFICIENCY RATING
SH SENSIBLE HEAT
SOV SHUT OFF VALVE
SF SQUARE FEET
SP STATIC PRESSURE
SA SUPPLY AIR
T, TEMP TEMPERATURE
TD TEMPERATURE DIFFERENCE
MBH THOUSAND BTU'S PER HOUR
TH TOTAL HEAT
TP TOTAL PRESSURE
V VOLT
WC WATER COLUMN
W WATT
WB WET BULB
W/ WITH

General

—————> CONTINUATION
 DETAIL NUMBER AND SHEET LOCATION
 EQUIPMENT IDENTIFICATION
 POINT OF CONNECTION
 SECTION NUMBER AND SHEET LOCATION
- - - - - DEMOLISH (DASH-DOT)
————— EXISTING WORK

ELECTRIC WALL HEATER SCHEDULE

SYMBOL	LOCATION	AREA SERVING	BASIS OF DESIGN		TYPE	HEAT (kW)	ELECTRICAL		COMMENTS
			MFR	MODEL			VOLTS	PH	
WH-1	MECHANICAL ROOM	MECHANICAL ROOM	INDEECO	WRI	RECESSED	1.5	120	1	INTEGRAL THERMOSTAT
WH-2	HALL	HALL	INDEECO	WRI	RECESSED	1	120	1	INTEGRAL THERMOSTAT

COOLING TOWER SCHEDULE

COOLING TOWER SCHEDULE																								
SYMBOL	SYSTEM SERVING	BASIS OF DESIGN		TOWER HEAT REJ. (MBH)	FLUID					AIR		FAN	ELECTRICAL					VFD (Y/N)	EMERGENCY POWER (Y/N)	CONTROLS REF	APPROX DIMS (LxWxH)	MAX WT (LBS)	COMMENTS	
		MFR	MODEL		EWT (°F)	LWT (°F)	FLUID TYPE	GPM	WPD (FT)	AMBIENT			MHP	VOLTS	PH	MCA	MOCP							MIN. SCCR (KAIC)
										DB (°F)	WB (°F)													
CT-1	WATER-SOURCE HEAT PUMP LOOP	BALTIMORE AIR COIL	VT0-41-J	747	90	80	WATER	145	12.00	95	69	7.5	208	3	30.3	60	10	Y	Y	ELECTRONIC	6'x4'x7'-6"	1650	2 KW BASIN HEATER	

SHEET INDEX

M0.1 SYMBOL LIST AND GENERAL NOTES - MECHANICAL
M1.1 4TH FLOOR AND ROOF DEMO PLAN - MECHANICAL
M2.1 4TH FLOOR AND ROOF PLAN - MECHANICAL



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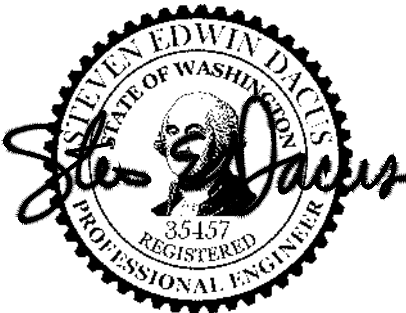


ABB PROJECT #: 22-7763.01

SCOPE OF WORK:
4th Floor Jail Demolition & Re-roofing

OWNER NAME:
Skagit County Courthouse

PROPERTY ADDRESS:
205 W. Kincaid Street
Mount Vernon, WA 98273

PROPERTY MANAGER:
Skagit County Facilities Management
1800 Continental Place
Mount Vernon, WA 98273

Mark	Description	Date
1	PERMIT SET	03/10/23
	Permit Correction Bid Set	
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT
PERMIT # TBD



PROJECT 2022-0114
CONTACT Steve Dacus

100 SW Main Street, Suite 1600
Portland, OR 97204
TEL 503.382.2266
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SHEET TITLE

SYMBOL LIST
AND GENERAL
NOTES -
MECHANICAL

SCALE: NOTED ON DRAWINGS

M0.1

SHEET

SHEET KEYNOTES

1. DEMOLISH EXISTING STEAM RADIATOR AND CAP PIPING WITHIN 6 INCHES OF FINISHED FLOOR.
2. DEMOLISH EXISTING NATURAL GAS UNIT HEATER, PIPING, AND FLUE.
3. DEMOLISH EXISTING NATURAL GAS FURNACE, PIPING, DUCTWORK, AND FLUE.
4. EXISTING EXHAUST FAN, DUCTWORK, AND CONTROLS TO REMAIN. PROTECT DURING CONSTRUCTION.
5. DEMOLISH EXISTING CONDENSER WATER SUPPLY AND RETURN BETWEEN MECHANICAL ROOM AND EXISTING COOLING TOWER. SEE M2.4 FOR NEW WORK.



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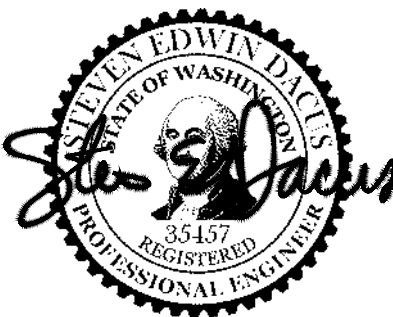


ABB PROJECT #: 22-7763.01

SCOPE OF WORK:

4th Floor Jail Demolition & Re-roofing

OWNER NAME:

Skagit County Courthouse

PROPERTY ADDRESS:

205 W. Kincaid Street

Mount Vernon, WA 98273

PROPERTY MANAGER:

Skagit County Facilities Management

1800 Continental Place

Mount Vernon, WA 98273

Mark Description Date

PERMIT SET 03/10/23

1 Permit Correction Bid Set

BID SET ISSUE 09/25/23

BUILDING DEPARTMENT

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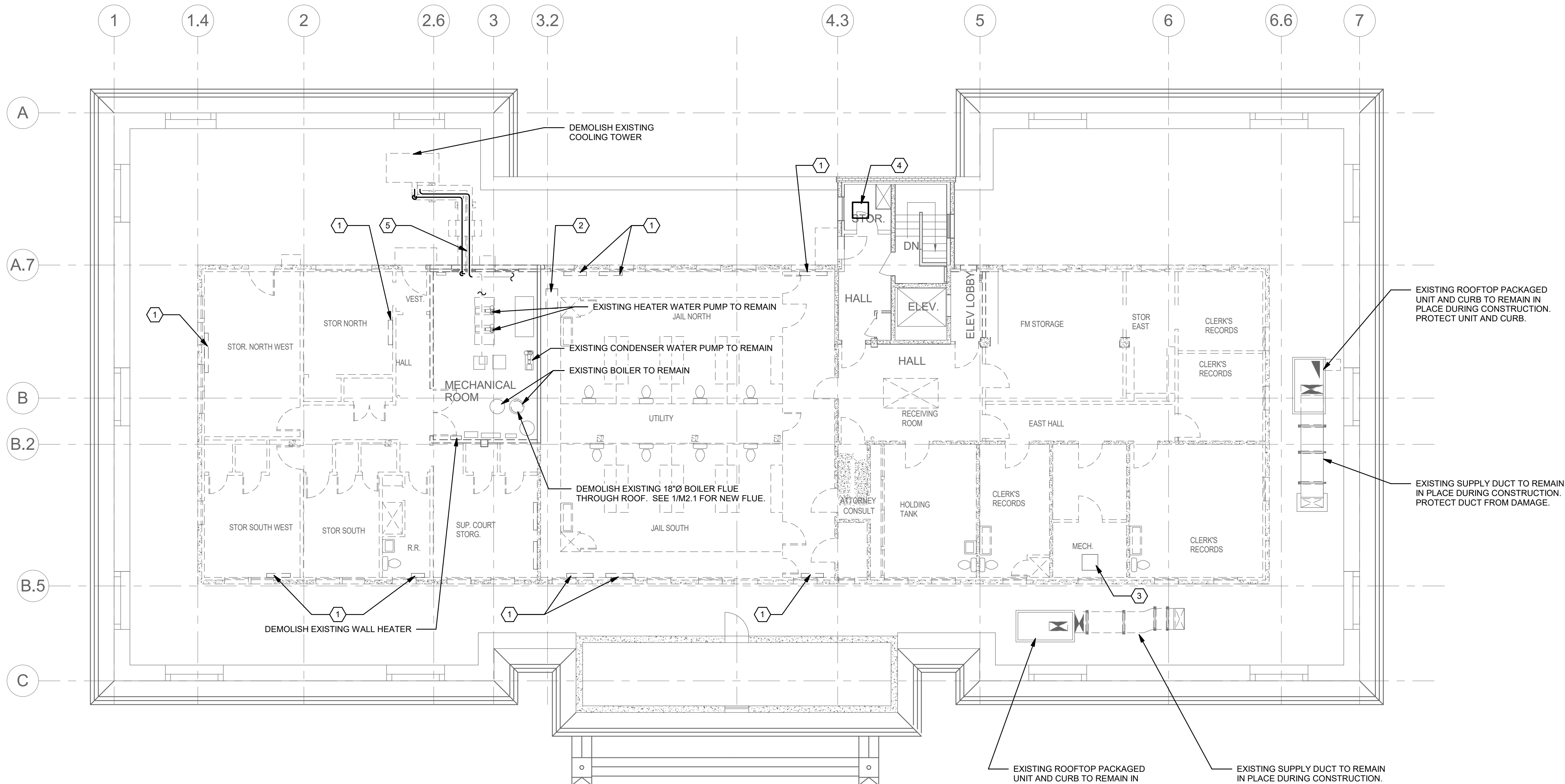
SHEET TITLE

**4TH FLOOR
AND ROOF
DEMO PLAN -
MECHANICAL**

SCALE: NOTED ON DRAWINGS

M1.1

SHEET



1 LEVEL 4 DEMO MECHANICAL PLAN - OVERALL

0' 4' 8' 16'

1/8" = 1'-0"



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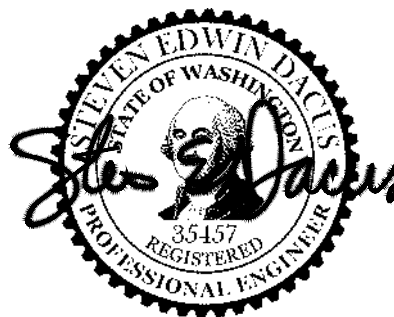


ABB PROJECT #: 22-7763.01

SCOPE OF WORK:
**4th Floor Jail Demolition
& Re-roofing**

OWNER NAME:
Skagit County Courthouse

PROPERTY ADDRESS:
**205 W. Kincaid Street
Mount Vernon, WA 98273**

PROPERTY MANAGER:
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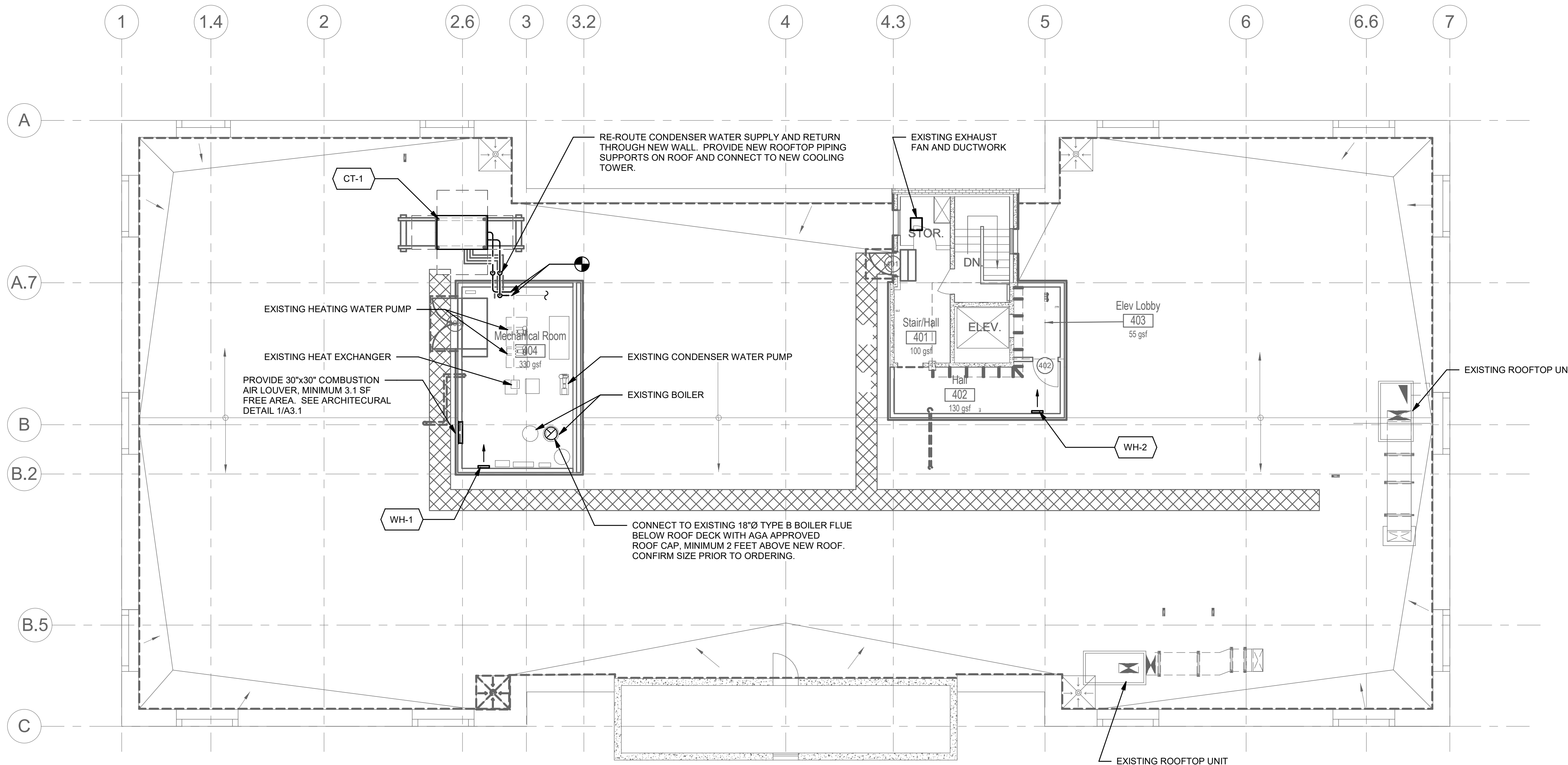
SHEET TITLE

**4TH FLOOR
AND ROOF
PLAN -
MECHANICAL**

SCALE: NOTED ON DRAWINGS

M2.1

SHEET



1 LEVEL 4 MECHANICAL PLAN - OVERALL

0' 4' 8' 16'
1/8" = 1'-0"

ELECTRICAL SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

Abbreviations

AFC	ABOVE FINISHED CEILING
AFF	ABOVE FINISHED FLOOR
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
AWG	AMERICAN WIRE GAUGE
A	AMPERES, AMBER
AHJ	AUTHORITY HAVING JURISDICTION
AIC	AVAILABLE INTERRUPTING CAPACITY
BAS	BUILDING AUTOMATION SYSTEM
CA	CABLE
CAT	CATEGORY
CLG	CEILING
C	CONDUIT, CLOSE, CONTROL
COORD	COORDINATE
CU	COPPER
dB	DECIBEL
(X)	DEMOLISH
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DIV	DIVISION
DN	DOWN
DWG	DRAWING
EA	EACH
EMT	ELECTRICAL METALLIC TUBING
EL	ELEVATION
E	EMERGENCY
EF	EXHAUST FAN
(E)	EXISTING
FF	FINISH FLOOR
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FMC	FLEXIBLE METAL CONDUIT
FT	FOOT, FEET
FBO	FURNISHED BY OTHERS
G, GND	GROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFI	GROUND FAULT INTERRUPTER
GFP	GROUND FAULT PROTECTION
HH	HANDHOLE
HT	HEIGHT
ID	IDENTIFICATION
IN	INCH, INCHES
IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
IMC	INTERMEDIATE METAL CONDUIT
IG	ISOLATED GROUND
KV	KILOVOLT
KVA	KILOVOLT AMPERES
KW	KILOWATT
LED	LIGHT EMITTING DIODE
LFMC	LIQUIDTIGHT FLEXIBLE METAL CONDUIT
LV	LOW VOLTAGE
MOCP	MAXIMUM OVERCURRENT PROTECTION
mA	MILLIAMPERES
MIN	MINIMUM
MCA	MINIMUM CIRCUIT AMPS
MISC	MISCELLANEOUS
MCC	MOTOR CONTROL CENTER
MT, MTD	MOUNT, MOUNTED
NEC	NATIONAL ELECTRIC CODE
NESC	NATIONAL ELECTRIC SAFETY CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
N	NEUTRAL
(N)	NEW
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OFCl	OWNER FURNISHED, CONTRACTOR INSTALLED
PNL	PANEL
PH	PHASE
PVC	POLY-VINYL-CHLORIDE
PWR	POWER
QTY	QUANTITY
REF	REFERENCE
(R)	RELOCATE
RFI	REQUEST FOR INFORMATION
REQD	REQUIRED
RMC	RIGID METAL CONDUIT
RM	ROOM
SHT	SHEET
SIM	SIMILAR
STD	STANDARD
SFD	SURGE PROTECTION DEVICE
SWBD	SWITCHBOARD
TBD	TO BE DETERMINED
XFMR	TRANSFORMER
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSOR
TYP	TYPICAL
UG	UNDERGROUND
UL	UNDERWRITERS LABORATORIES
UPS	UNINTERRUPTIBLE POWER SUPPLY
UON	UNLESS OTHERWISE NOTED
VFD	VARIABLE FREQUENCY DRIVE
V	VOLTS, VOLTAGE
WP	WEATHERPROOF
WG	WIRE GUARD
W/	WITH
W/O	WITHOUT

Connections / Equipment

	COMBINATION ADJUSTABLE FREQUENCY DRIVE WITH SAFETY DISCONNECT SWITCH
	COMBINATION MOTOR STARTER/FUSED DISCONNECT SWITCH
	HEAVY DUTY FUSED DISCONNECT SWITCH
	MOTOR CONNECTION
	NON-FUSED DISCONNECT SWITCH
	TRANSFORMER
	FIRE SMOKE DAMPER
	SMOKE DAMPER
	CEILING MOUNTED JUNCTION BOX
	FLOOR MOUNTED JUNCTION BOX
	WALL-MOUNTED JUNCTION BOX

Fire Alarm

	FIRE ALARM CONTROL PANEL
--	--------------------------

General

	DETAIL NUMBER AND SHEET LOCATION
	EQUIPMENT IDENTIFICATION
	KEYED NOTE
	DEMOLISH
	EXISTING WORK
	NEW WORK

Lighting

	RECESSED 1' X 4' LUMINAIRE
	RECESSED 1' X 4' LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	RECESSED 2' X 2' LUMINAIRE
	RECESSED 2' X 2' LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	RECESSED 2' X 4' LUMINAIRE
	RECESSED 2' X 4' LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	SURFACE MOUNTED 2' X 2' LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	SURFACE MOUNTED 2' X 4' LUMINAIRE
	SURFACE MOUNTED 2' X 4' LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	SURFACE OR PENDANT MOUNTED 1' X 4' LUMINAIRE
	SURFACE OR PENDANT MOUNTED 1' X 4' LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT

	SURFACE OR PENDANT MOUNTED LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	SURFACE OR PENDANT MOUNTED STRIPLIGHT
	WALL MOUNTED 6" WIDE LUMINAIRE
	WALL MOUNTED 6" WIDE LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	WALL MOUNTED 12" WIDE LUMINAIRE
	WALL MOUNTED 12" WIDE LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT
	WALL MOUNTED LUMINAIRE
	WALL MOUNTED LUMINAIRE CONNECTED TO EMERGENCY/LIFE SAFETY CIRCUIT OR WITH INTEGRAL EMERGENCY BATTERY CONNECTED TO UNSWITCHED CIRCUIT

Miscellaneous

	BRANCH CIRCUIT WIRING. ARROW INDICATES HOME RUN TO PANEL WITH CIRCUITS AS NOTED. WIRE SIZE IS #12 AWG MINIMUM UNLESS NOTED OTHERWISE. SHORT TICK MARKS INDICATE PHASE CONDUCTORS. LONG TICK MARKS INDICATE NEUTRAL CONDUCTORS. A SINGLE CURVED TICK MARK INDICATES INSULATED GREEN GROUND CONDUCTOR. SECOND CURVED TICK MARK INDICATES "ISOLATED GROUND" (GREEN INSULATION WITH YELLOW STRIPE) CONDUCTOR.
	BRANCH PANEL
	CIRCUIT BREAKER
	DRY TYPE TRANSFORMER
	FLUSH WALL MOUNTED BRANCH PANEL
	GROUND BAR
	MAIN DISTRIBUTION PANEL / SUB DISTRIBUTION PANEL

Raceways

	CONDUIT CONCEALED IN WALL OR CEILING SPACE
	CONDUIT ROUTED BELOW FLOOR / GRADE
	CONDUIT ELLED DOWN
	CONDUIT ELLED UP
	CONDUIT/WIRING CONTINUATION
	CONDUIT/WIRING STUBBED OUT WITH END CAP OR INSULATED PLASTIC BUSHING
	FLEXIBLE CONDUIT

Switches and Receptacles

	DUPLEX RECEPTACLE (MULTIPLE LETTERS INDICATE MULTIPLE OPTIONS) A = ABOVE COUNTER B = CLOCK HANGER C = FLUSH CEILING MOUNTED E = EMERGENCY F = ARC FAULT PROTECTED BY BREAKER IN PANEL G = GROUND FAULT CIRCUIT INTERRUPTER H = HOSPITAL GRADE K = CHILD RESISTANT COVER L = ISOLATED GROUND P = PENDANT MOUNTED WITH CORD GRIPS. VERIFY PENDANT LENGTH R1 = HALF SWITCHED BY OCCUPANCY SENSOR RELAY R2 = FULLY SWITCHED BY OCCUPANCY SENSOR RELAY S = SPLIT WIRED T = TAMPER RESISTANT SHUTTERED RECEPTACLE U = USB PORT(S) W = WEATHERPROOF CONTINUOUS USE COVER, GFCI PROTECTED, WITH WEATHER-RESISTANT RECEPTACLE
	DUPLEX RECEPTACLE, FLUSH FLOOR
	DOUBLE DUPLEX RECEPTACLE, FLUSH FLOOR
	DOUBLE DUPLEX RECEPTACLE. SEE LETTER CODE LIST AT DUPLEX RECEPTACLE FOR OPTIONS

	EQUIPMENT ELECTRICAL CONNECTION
	SPECIAL PURPOSE RECEPTACLE. LETTER CODE DENOTES RECEPTACLE CONFIGURATION LX-XXR = NEMA CONFIGURATION TWIST-LOCK RECEPTACLE X-XXR = NEMA CONFIGURATION STRAIGHT BLADE RECEPTACLE P = PENDANT MOUNT WITH CORD GRIPS. VERIFY PENDANT LENGTH X = COORDINATE RECEPTACLE CONFIGURATION WITH EQUIPMENT BEING SUPPLIED CEILING MOUNTED OCCUPANCY SENSOR P = PASSIVE INFRARED D = DUAL TECHNOLOGY U = ULTRASONIC, 360 DEG RANGE H = ULTRASONIC, HALLWAY PATTERN v (LOWERCASE) = VACANCY CONTROL DESIGNATION WALL MOUNTED OCCUPANCY SENSOR P = PASSIVE INFRARED D = DUAL TECHNOLOGY v (LOWERCASE) = VACANCY CONTROL DESIGNATION WALL MOUNTED OCCUPANCY SENSOR/ SWITCH S = PASSIVE INFRARED WITH INTEGRAL "OFF" SWITCH T = DUAL RELAY PASSIVE INFRARED WITH TWO INTEGRAL "OFF" SWITCHES D = PASSIVE INFRARED WITH INTEGRAL DIMMER TO OFF. v (LOWERCASE) = VACANCY CONTROL DESIGNATION MULTIPLE CHANNEL SURFACE METAL RECEPTACLE RACEWAY WITH LOW VOLTAGE DIVIDERS, LENGTH AND RECEPTACLES AS INDICATED
	PHOTO ELECTRIC SWITCH D = CONTINUOUS DIMMING PHOTOCELL S = SWITCHED PHOTOCELL
	SINGLE POLE SWITCH 2 = DOUBLE POLE SWITCH 3 = THREE-WAY SWITCH 4 = FOUR-WAY SWITCH a THRU z (LOWERCASE) = LUMINAIRE CONTROL DESIGNATION D = DIMMER F = FAN SPEED CONTROL K = KEY OPERATED SWITCH L = LIGHTED HANDLE M = MANUAL MOTOR STARTER WITH THERMAL OVERLOAD P = SWITCH WITH PILOT LIGHT S = SENTRY SWITCH T = INTERVAL TIMER W = WEATHERPROOF SWITCH V = LOW VOLTAGE SWITCH
	RACEWAY ONLY DATA/TELEPHONE OUTLET. PROVIDE DOUBLE GANG BACK BOX AND SINGLE GANG ADAPTER PLATE WITH 1" C. AND PULLSTRING TO ACCESSIBLE CEILING SPACE. (MULTIPLE LETTERS INDICATE MULTIPLE OPTIONS) A = ABOVE COUNTER C = CEILING MOUNTED ABOVE ACCESSIBLE CEILING F = FLUSH CEILING MOUNTED R = SURFACE MOUNTED ON RACEWAY
	RACEWAY ONLY TELEPHONE OUTLET. PROVIDE DOUBLE GANG BACK BOX AND SINGLE GANG ADAPTER PLATE WITH 3/4" C. AND PULLSTRING TO ACCESSIBLE CEILING SPACE. SEE LETTER CODE LIST AT DATA/TELEPHONE OUTLET FOR OPTIONS.

Telecommunications

GENERAL ELECTRICAL NOTES

- A. ALL ELECTRICAL MATERIAL AND INSTALLATIONS SHOWN AND/OR SPECIFIED TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC.
- B. REFER TO ARCHITECTURAL DRAWINGS TO COORDINATE LOCATION AND MOUNTING HEIGHT OF ALL ELECTRICAL DEVICES.
- C. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATION OF ALL MECHANICAL AND PLUMBING EQUIPMENT.
- D. MAXIMUM VOLTAGE DROP OF BRANCH CIRCUITS TO BE 3%. ELECTRICAL CONTRACTOR TO SIZE WIRING TO SUIT.
- E. NO WIRE SMALLER THAN #12 AWG SHALL BE USED FOR BRANCH CIRCUIT WIRING.
- F. IN FINISHED INTERIOR AREAS RUN ALL CONDUITS CONCEALED UNLESS OTHERWISE NOTED. PAINT ALL EXPOSED CONDUITS AND ELECTRICAL EQUIPMENT. REFER TO ARCHITECTURAL PAINTING SPECIFICATIONS FOR REQUIREMENTS.
- G. ALL EXPOSED CONDUIT TO BE RUN PARALLEL TO BUILDING LINES.
- H. PROVIDE DEDICATED NEUTRALS FOR ALL BRANCH CIRCUITS UNLESS OTHERWISE NOTED.
- I. ALL IN-SLAB OR BURIED CONDUIT TO BE COMPLETE WITH EQUIPMENT GROUNDING CONDUCTOR.
- J. ALL EMPTY CONDUITS TO BE COMPLETE WITH PULL WIRE.
- K. MC CABLE SHALL NOT BE USED WITHOUT PERMISSION FROM THE ENGINEER.
- L. ALL CONDUIT ROUTED IN AREAS SUBJECT TO MECHANICAL DAMAGE TO BE RIGID.
- M. THE BUILDING IS DESIGNED TO SEISMIC CATEGORY D. THE ELECTRICAL INSTALLATION SHALL COMPLY WITH BOTH CHAPTER 13 REQUIREMENTS OF ASCE 7 FOR SEISMIC CATEGORY D BUILDINGS AND FEMA 413: INSTALLING SEISMIC RESTRAINTS FOR ELECTRICAL EQUIPMENT. FOR EXAMPLE, GENERATORS ARE TO BE DESIGNED AND INSTALLED TO RESIST THE EFFECTS OF SEISMIC ACTIVITIES.
- N. CARE SHALL BE TAKEN TO ENSURE ELECTRICAL SYSTEMS ARE NOT DAMAGED BY ANY RELATIVE MOVEMENT OF THE BUILDING ELEMENTS. ENSURE THAT CONDUITS, SIMILAR RACEWAYS AND CONDUCTORS ARE INSTALLED SO AS TO ALLOW FOR THESE MOVEMENTS WITHOUT COMPROMISING THE INSTALLATION. USE MANUFACTURER RECOMMENDED PRODUCTS SUCH AS EXPANSION FITTINGS, SLACK IN CONDUCTORS, ETC.. REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS OF EXPANSION JOINTS AND ANTICIPATED BUILDING MOVEMENT.

GENERAL LIGHTING NOTES

- A. COORDINATE LIGHTING WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING TO CONFIRM LUMINAIRES WILL FIT IN INTENDED ARCHITECTURAL FEATURES, CEILING GRIDS, COVES, ETC.
- B. COORDINATE LIGHTING INSTALLATION REQUIREMENTS WITH SPRINKLER CONTRACTOR PRIOR TO SPRINKLER LINE INSTALLATION.
- C. ALL ROOM WALL SWITCHES, DIMMERS AND MOTION SENSORS TO BE SUBORDINATE TO THE LOW VOLTAGE SWITCHING ZONE THEY ARE LOCATED IN.

GENERAL POWER NOTES

- A. USE #10 AWG FOR 20A, 120V CIRCUITS LONGER THAN 70'.
- B. USE #8 AWG FOR 20A, 120V CIRCUITS LONGER THAN 100'.

GENERAL DEMOLITION NOTES

- A. ALL UNUSED CONDUIT, LOOSE CABLE, WIRE, HANGERS, ETC., SHALL BE REMOVED FROM THE CEILING SPACE. THE INTENT IS TO KEEP THE CEILING SPACE CLEAN.
- B. THE CONTRACTOR SHALL RECORD AS-BUILT INFORMATION SHOWING EXISTING JUNCTION BOXES, CONDUIT ROUTES AND CIRCUIT NUMBERS AND ALL OTHER ELECTRICAL EQUIPMENT NOT REMOVED.
- C. THE CONTRACTOR SHALL TURN OVER EQUIPMENT BEING REMOVED TO THE LANDLORD. EQUIPMENT NOT REQUIRED BY BUILDING MANAGEMENT SHALL BE REMOVED FROM SITE BY THE CONTRACTOR.
- D. ALL SUPPLEMENTARY ELECTRICAL, POWER CONDUIT AND WIRE RISERS AND COMMUNICATIONS CONDUIT AND CABLING RISERS BETWEEN FLOORS NOT REQUIRED SHALL BE REMOVED.
- E. THE CONTRACTOR SHALL SEAL ALL UNUSED OPENINGS DUE TO ELECTRICAL DEMOLITION TO ENSURE THAT FIRE-RESISTANCE IS MAINTAINED. FIRE STOPPING CAULKING PRODUCT SHALL BE NUCO INC. TYPE GG-200 SELF SEALANT.
- F. PROVIDE AND INSTALL BLANK COVERPLATES FOR DEVICES SHOWN TO BE REMOVED.
- G. SWITCHES ON WALLS BEING DEMOLISHED SHALL BE REMOVED.
- H. ALL EXISTING LUMINAIRES LOCATED IN DEMOLISHED CEILINGS ARE TO BE REMOVED. REMOVE ALL ASSOCIATED CONTROLS SUCH AS SLAVE AND DIMMER SWITCHES.
- I. EXISTING LIGHTING CIRCUITS ARE TO BE BROUGHT BACK TO THE PANEL BOARD.
- J. UNUSED CONDUIT AND WIRE IS TO BE REMOVED.
- K. ALLOW FOR SOME TEMPORARY BASE BUILDING LIGHTS.
- L. EXISTING DISTRIBUTION EQUIPMENT INCLUDING PANELS, TRANSFORMERS, DISCONNECT SWITCHES, SPLITTERS, ETC., LOCATED IN AREAS UNDER CONSTRUCTION ARE TO REMAIN.
- M. POWER CONNECTIONS AND OUTLETS ARE TO BE REMOVED FROM WALLS TO BE DEMOLISHED.
- N. ALL CIRCUITS ORIGINATING FROM THE PANEL BOARDS AND AFFECTED BY DEMOLITION SHALL BE REMOVED BACK TO THE POINT OF ORIGIN.
- O. COORDINATE WITH THE SCHOOL PRIOR TO THE COMMENCEMENT OF THE WORK.
- P. ENSURE THAT BASE BUILDING WIRING SUCH AS CONTROL-WIRING, ETC. IS NOTDAMAGED.

SHEET INDEX

E0.1	SYMBOL LIST AND GENERAL NOTES - ELECTRICAL
E0.2	LUMINAIRE SCHEDULE
E1.1	4TH FLOOR AND ROOF DEMO PLAN - ELECTRICAL
E2.1	4TH FLOOR AND ROOF PLAN - ELECTRICAL



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206-443-6499

The undersigned has provided building enclosure documents that in my professional judgement are appropriate to satisfy the requirements of RCW 64.55.005 through 64.55.090



ABB PROJECT #: 22-7763.01

SCOPE OF WORK:

4th Floor Jail Demolition

& Re-roofing

OWNER NAME:

Skagit County Courthouse

PROPERTY ADDRESS:

205 W. Kincaid Street

Mount Vernon, WA 98273

PROPERTY MANAGER:

Skagit County Facilities

Management

1800 Continental Place

Mount Vernon, WA 98273

Mark	Description	Date
	PERMIT SET	03/10/23
1	Permit Correction Bid Set	
	BID SET ISSUE	09/25/23

BUILDING DEPARTMENT

PERMIT # TBD



PROJECT 2022-0114
CONTACT Cody Bargholz
100 SW Main Street, Suite 1600
Portland, OR 97204
TEL 503.382.2266
www.interfaceengineering.com

SHEET TITLE

SYMBOL LIST
AND GENERAL
NOTES -
ELECTRICAL

SCALE: NOTED ON DRAWINGS

E0.1

SHEET

LUMINAIRE SCHEDULE											
TYPE	DESCRIPT ION	HOUSING	SHIELDIN G	MOUNTIN G	FINISH	UL/IP RATING	DRIVER/P OWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATA LOG #	NOTES
'A1'									0.0		
'A2'									0.0		
'B1'									10.0		
'C1'		NOMINAL 12"W x 8.5"H x 0.5"D; DIE CAST ALUMINUM HOUSING; CONTRACTOR TO VERIFY BACKBOX REQUIREMEN TS DURING ROUGH-IN		REFER TO ARCHITECTUR AL DRAWINGS FOR MOUNTING CONDITIONS		UL DAMP	INTEGRAL DRIVER		2.0	EVENLITE RAZOR SERIES; ISOLITE, PATHWAY, SURE-LITES TPX, BARRON LIGHTING, OR APPROVED	
'X'		NOMINAL 12"W x 8.5"H x 0.5"D; DIE CAST ALUMINUM HOUSING; CONTRACTOR TO VERIFY BACKBOX REQUIREMEN TS DURING ROUGH-IN	NA	REFER TO ARCHITECTUR AL DRAWINGS FOR MOUNTING CONDITIONS		UL DAMP	INTEGRAL DRIVER		2.0	EVENLITE RAZOR SERIES; ISOLITE, PATHWAY, SURE-LITES TPX, BARRON LIGHTING, OR APPROVED	



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Mount Vernon, WA 98273**

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**INTERFACE
ENGINEERING**

PROJECT 2022-0114
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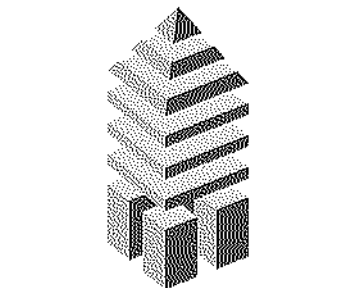
SHEET TITLE

LUMINAIRE SCHEDULE

SCALE: NOTED ON DRAWINGS

E0.2

SHEET



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**4th Floor Jail Demolition
& Re-roofing**
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Skagit County Courthouse
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1800 Continental Place
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SHEET TITLE

4TH FLOOR
AND ROOF
DEMO PLAN -
ELECTRICAL

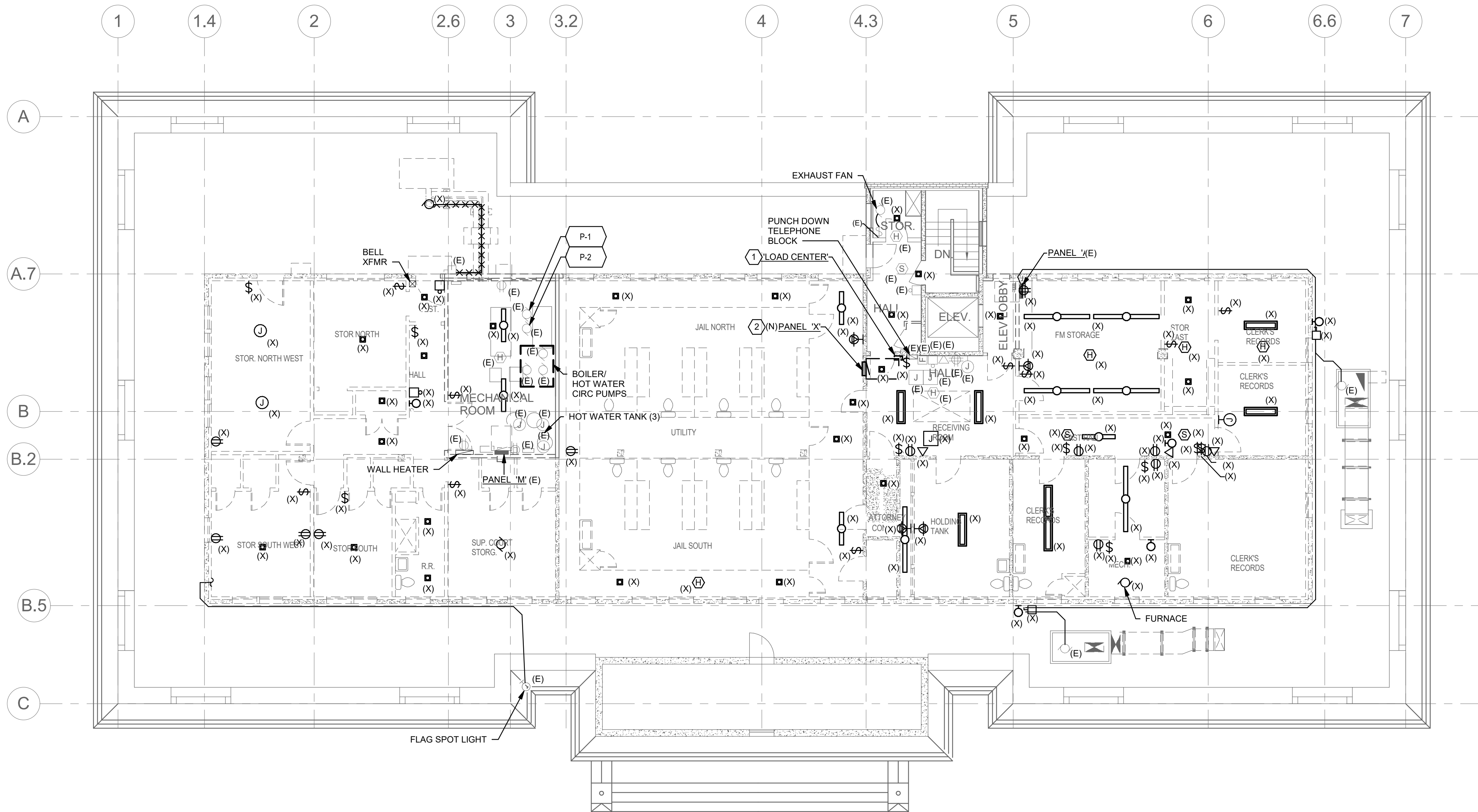
SCALE: NOTED ON DRAWINGS

E1.1

SHEET

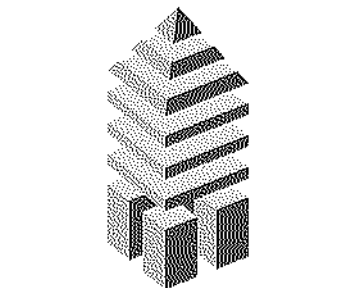
SHEET KEYNOTES

- DISCONNECT EXISTING BRANCH CIRCUIT WIRING. DEMOLISH EXISTING LOAD CENTER AND FEEDER. EXTEND EXISTING BRANCH CIRCUIT WIRING TO NEW BREAKERS AT PANEL X.
- DISCONNECT EXISTING FEEDER. TURN PANELBOARD OVER TO OWNER. SUPPLY AND INSTALL NEW 42 CIRCUIT RECESSED PANELBOARD RETROFIT KIT. RECONNECT EXISTING FEEDERS TO NEW PANELBOARD AND RECONNECT EXISTING BRANCH CIRCUIT WIRING TO NEW BREAKERS.



1 LEVEL 4 DEMO ELECTRICAL PLAN - OVERALL

0' 4' 8' 16'
1/8" = 1'-0"



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**4TH FLOOR
AND ROOF
PLAN -
ELECTRICAL**

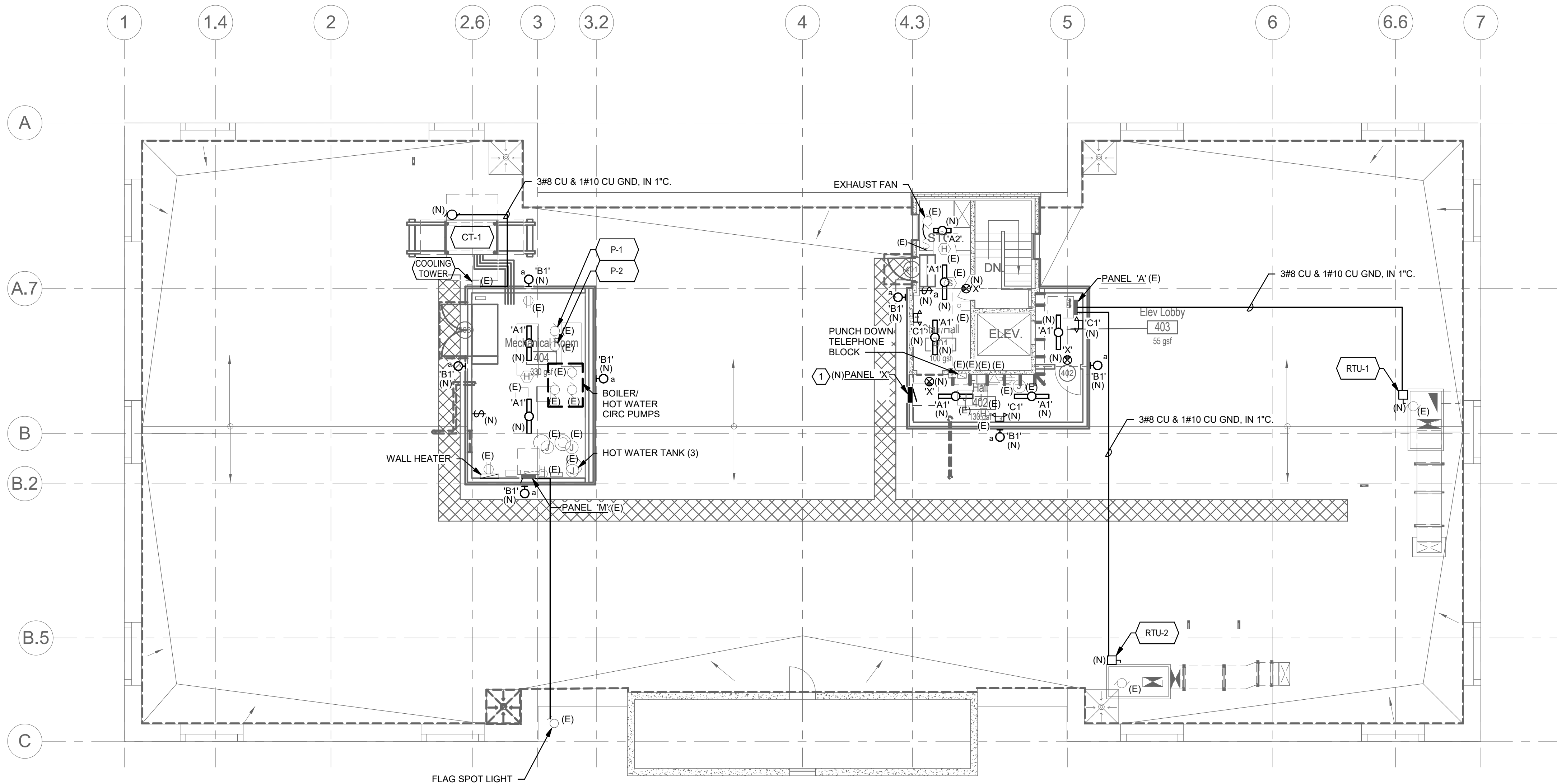
SCALE: NOTED ON DRAWINGS

E2.1

SHEET

SHEET KEYNOTES

- DISCONNECT EXISTING FEEDER. TURN PANELBOARD OVER TO OWNER. SUPPLY AND INSTALL NEW 42 CIRCUIT RECESSED PANELBOARD RETROFIT KIT. RECONNECT EXISTING FEEDERS TO NEW PANELBOARD AND RECONNECT EXISTING BRANCH CIRCUIT WIRING TO NEW BREAKERS.
- WIRE AND CONNECT NEW LUMINAIRES TO EXISTING LIGHTING CIRCUIT MADE AVAILABLE FROM DEMOLITION.



1 LEVEL 4 ELECTRICAL PLAN - OVERALL

0' 4' 8' 16'
1/8" = 1'-0"