



200205130185
Skagit County Auditor

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WHEN RECORDED RETURN TO

Name Thomas and Terril Moore

Address 7962 State Rt 9

City, State, Zip Sedro-Woolley, WA 98284



**LAND TITLE
COMPANY**

FILED FOR RECORD AT REQUEST OF

P-100905

LAND TITLE COMPANY OF SKAGIT COUNTY

Statutory Warranty Deed

THE GRANTOR PETER D KELLY AND SHERRELL L KELLY, Husband and Wife
for and in consideration of TEN DOLLARS AND OTHER VALUABLE CONSIDERATION
in hand paid, conveys and warrants to THOMAS E MOORE AND TERRIL A MOORE, Husband and
Wife
the following described real estate, situated in the County of Skagit, State of Washington:

PTN SE 1/4 SE 1/4, 12-35-4 E W.M.

SEE THE 2ND PAGE OF THIS DOCUMENT FOR THE COMPLETE
LEGAL DESCRIPTION ATTACHED AS EXHIBIT "A" AND BY
THIS REFERENCE INCORPORATED HEREIN.

SUBJECT TO EASEMENTS, CONDITIONS, COVENANTS AND
RESTRICTIONS PER ATTACHED EXHIBIT "B" AND BY THIS
REFERENCE MADE A PART HEREOF.

Tax #350412-0-008-0003 P36233

#2052

SKAGIT COUNTY WASHINGTON
REAL ESTATE EXCISE TAX

Dated May 9th, 2002

MAY 13 2002

Peter D Kelly
(Individual) Peter D Kelly
Sherrell L Kelly
(Individual) Sherrell L Kelly

By Amount Paid \$ 3748⁰⁰
By Skagit Co. Treasurer
(President) Deputy
(Secretary)

STATE OF WASHINGTON }
COUNTY OF Skagit } ss.

STATE OF WASHINGTON }
COUNTY OF _____ } ss.

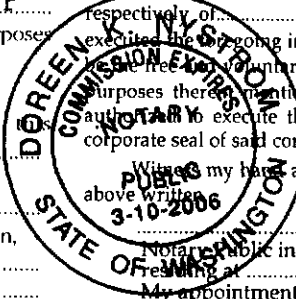
On this 9th day of May, 2002, personally appeared before me
Peter D Kelly and
Sherrell L Kelly
to me known to be the individual described in and who
executed the within and foregoing instrument, and acknowl-
edged that they signed the same as their
free and voluntary act and deed, for the uses and purposes
therein mentioned.

On this _____ day of _____, before me, the undersigned, a
Notary Public in and for the State of Washington, duly commissioned and
sworn, personally appeared _____ and

to me known to be the _____ President and _____ Secretary,
respectively, of _____ the corporation that
executed the foregoing instrument, and acknowledged the said instrument to
be the free and voluntary act and deed of said corporation, for the uses and
purposes therein mentioned, and on oath stated that _____
authorized me to execute the said instrument and that the seal affixed is the
corporate seal of said corporation.

GIVEN under my hand and official seal
9th day of May, 2002

Doreen K Nystrom
Notary Public in, and for the State of Washington,
residing at Mount Vernon
My appointment expires: 3-10-06



Witness my hand and official seal hereto affixed the day and year first
above written
3-10-2006
Notary Public in and for the State of Washington,
Residing at _____
My appointment expires: _____

Schedule "A-1"

DESCRIPTION:

That portion of the Southeast ¼ of the Southeast ¼ of Section 12, Township 35 North, Range 4 East, W.M., described as follows:

Beginning at the Southeast corner of said subdivision;
thence South 88°44' West along the South line of said subdivision 293.1 feet;
thence North 17°42'30" West 20.85 feet to the North line of the Basset Road;
thence continue North 17°42'30" West 209.74 feet to the true point of beginning of this description;
thence North 58°10'30" West 87.64 feet;
thence North 31°02'30" West 210.24 feet;
thence North 45°39'07" East 57.55 feet;
thence North 57°22'15" East 118.50 feet;
thence South 16°58' East 56.57 feet;
thence South 13°44'30" East 89.16 feet;
thence South 22°06' West 61.75 feet;
thence South 11°42'30" East 135.36 feet to the true point of beginning.

TOGETHER WITH a perpetual non-exclusive easement on the road now constructed from State Highway No. 9, to the Southerly part of said property on what is known as Loch-Haven Drive.

Situate in the County of Skagit, State of Washington.



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Schedule "B-1"

EXCEPTIONS:

A. Restrictive covenants contained in deed dated March 21, 1967, recorded October 13, 1970, under Auditor's File No. 744523, from Earl K. Everett and Mary Ann Everett, his wife, to Althea Fyfe, a single woman, as follows:

"SUBJECT TO the restrictive covenant that only one home for a single family residence may be constructed upon said property and that shall not be subdivided."

B. Terms and conditions contained in Release for Use Letter recorded under Auditor's File No. 200109280066.
(Copy attached)



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