

200011170070
Skagit County Auditor
11/17/2000 Page 1 of 2 3:35:48PM

LAND TITLE COMPANY OF SKAGIT COUNTY

**SHELTER BAY
ASSIGNMENT OF SUBLEASE**

P-94767-W

Tax # 5100-002-303-0000

KNOW ALL MEN BY THESE PRESENT THAT:

ROGER WHEELIS and MARGO WHEELIS, Husband and Wife

Lessee(s) of a certain sublease dated the 30th day of September, 1973
Wherein SHELTER BAY COMPANY, a Washington corporation, appears as Lessor, recorded on the 12th day of October, 1973 in accordance with Short Form Sublease No. 303 (Master Lease No. 5020 , Contract No. 14-20-0500-2949) in records of Skagit County, Auditor's Filing No. 792022 Volume 130 Pages 492-493 hereinafter known as Assignor, for and in consideration of the sum of ten dollars and other valuable consideration paid for assignment of said sublease, receipt of which is hereby acknowledged by /who also appears of record as Roger F. Wheelis
ROGER WHEELIS and MARGO WHEELIS, Husband and Wife
Assignor(s), whose address is: 824 Shoshone Dr., LaConner, WA 98257

ASSIGNOR assigned and set over, and by these presents does grant, assign and set over unto the said
EUGENE B. BLYMYER, JR. and BARBARA BLYMYER, Husband and Wife
Assignee(s), whose address is 364 Snohomish Drive, LaConner, WA 98257

The within indenture of Sublease, and all right, title and interest now owned or hereafter acquired, of said Assignor(s), in said Sublease including any buildings and appurtenances thereto, and also all estate, right, title, term of years yet to come, claim and demand whatsoever of, in to or out of the same, to have and to hold the said estate and right, title and interest of the Lessee(s) as a member of Shelter Bay Community, Inc., a Non-profit Washington corporation in accordance with the subject to the Articles of Incorporation and By-Laws and rules and regulations of Shelter Bay Community, Inc. As a part of the consideration the Assignee(s) assumes and agrees to pay the annual lease payments provided for in said sublease and the maintenance fees and assessments, if any, of Shelter Bay Community, Inc. from time to time as they become due. The next annual sublease payment payable to Shelter Bay Company, in the amount of \$315.00 is due and payable on the 1st day of July 2001

PRIOR ASSIGNMENT of Sublease from:
Ventures Inc. to Roger and Margo Wheelis, under Auditor's file No. 8902030014

THE REAL ESTATE described in said lease is as follows:
Lot No. 303, Survey of Shelter Bay Division No. 2 as recorded June 27, 1969 in official records of Skagit County, Washington under Auditor's file No. 728258

IN WITNESS WHEREOF the parties have hereto signed this instrument this 15th Day of
November, 2000

Assignor(s)

Roger Wheelis
ROGER WHEELIS

Margo Wheelis
MARGO WHEELIS

Assignee(s)

Eugene B Blymyer, Jr.
EUGENE B. BLYMYER, JR.

Barbara Blymyer
BARBARA BLYMYER

38232
SKAGIT COUNTY WASHINGTON
Real Estate Excise Tax
PAID

NOV 17 2000

Amount Paid \$ 1534.59
Skagit County Treasurer
By: man Deputy

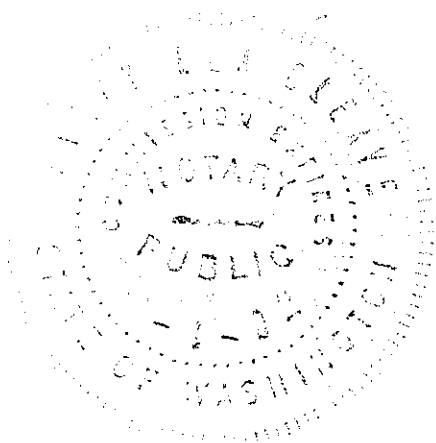
STATE OF Washington)
) SS.
COUNTY OF Skagit)

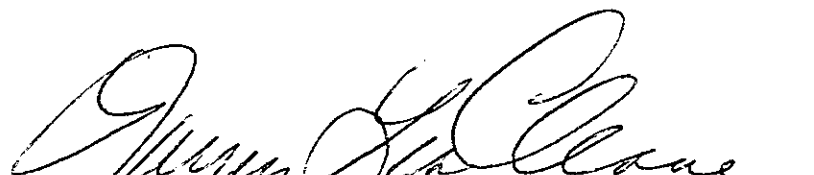
On this 16th day of November, 2000 before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared

ROGER WHEELIS and MARGO WHEELIS

To me known to be the individual described in and who executed the foregoing instrument and acknowledged to me that THEY signed and sealed the said instrument as THEIR free and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal hereto affixed the day and year in the certificate above written.




Notary public in and for the State of
Washington

Nancy Lea Cleave

Residing at Mount Vernon
My Commission Expires 9-1-02

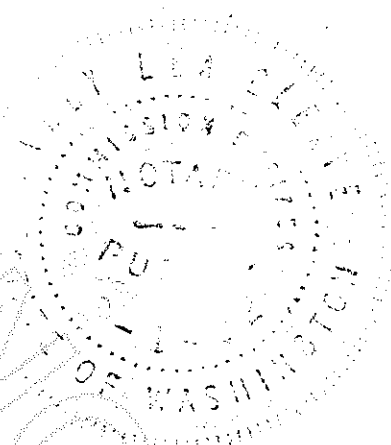
STATE OF Washington)
) SS.
COUNTY OF Skagit)

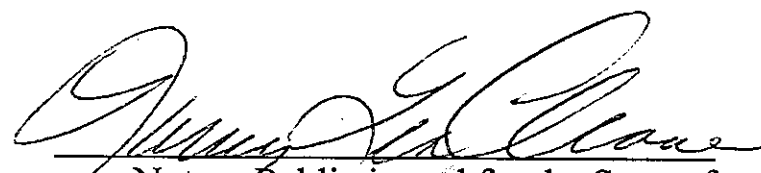
On this 15th day of November, 2000 before me, the undersigned, a Notary Public in and for the State of Washington, duly commissioned and sworn, personally appeared

EUGENE B. BLYMYER, JR. and BARBARA BLYMYER

To me known to be the individuals described in and who executed the foregoing instrument and acknowledged to me that THEY signed and sealed the said instrument as THEIR free and voluntary act and deed for the uses and purposes therein mentioned.

WITNESS my hand and official seal hereto affixed the day and year in this certificate above written.




Notary Public in and for the State of
Washington

Residing at Mount Vernon
My Commission Expires: 9-1-02
Nancy Lea Cleave

CONSENT OF LESSOR

SHELTER BAY COMPANY, Seller in the above described Sublease, does hereby consent to the above assignment of the aforesaid Sublease, subject to payments being made from time to time by the Assignee(s) hereof in accordance with said sublease to cover purchase of sublease, annual lease payments and maintenance fees and assessments for Shelter Bay Community, Inc. as they become due. This consent does not relieve the Assignor(s) from the obligation to make said payments in the event the Assignee(s) does not make said payment, and by this consent Shelter Bay Company does hereby consent to the assignment of member ship in Shelter Bay Community, Inc. to the Assignee(s) subject to the approval of the Board of Trustees of Shelter Bay Community, Inc.

SHELTER BAY COMPANY

Date: 11/17/00


Allan F. Osberg, President



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11/17/2000 Page 2 of 2 3:35:48PM